



**SITE INFORMATION**

OWNER: KAY A. RICHARDSON  
8 KENDALL DRIVE  
CHAPEL HILL, NC 27517

PN: 977899060  
JURISDICTION: TOWN OF CARRBORO  
TOWN: CARRBORO  
STATE: NORTH CAROLINA  
WATERSHED: JORDAN LAKE (UNPROTECTED)  
RIVER BASIN: CAPE FEAR

REFERENCE:  
DB 6424 PG 245 & PG 98 PG 104

EXISTING LOT AREA: 42,228 SQ. FT. (0.97 ACRES)

EXISTING USE: 300  
EXISTING ZONING: D1-C

EXISTING IMPERVIOUS AREA: 22,002 SQ. FT. (51.5%)  
IMPERVIOUS AREA TO BE DEMOLISHED: 20,512 SQ. FT. (48.5%)

ON-SITE IMPERVIOUS AREA CALCULATIONS:  
BUILDINGS: 2751 SF  
ASPHALT PAVT: 1074 SF  
CONCRETE: 116 SF  
GRAVEL: 18,181 SF  
TOTAL: 22,002 SF

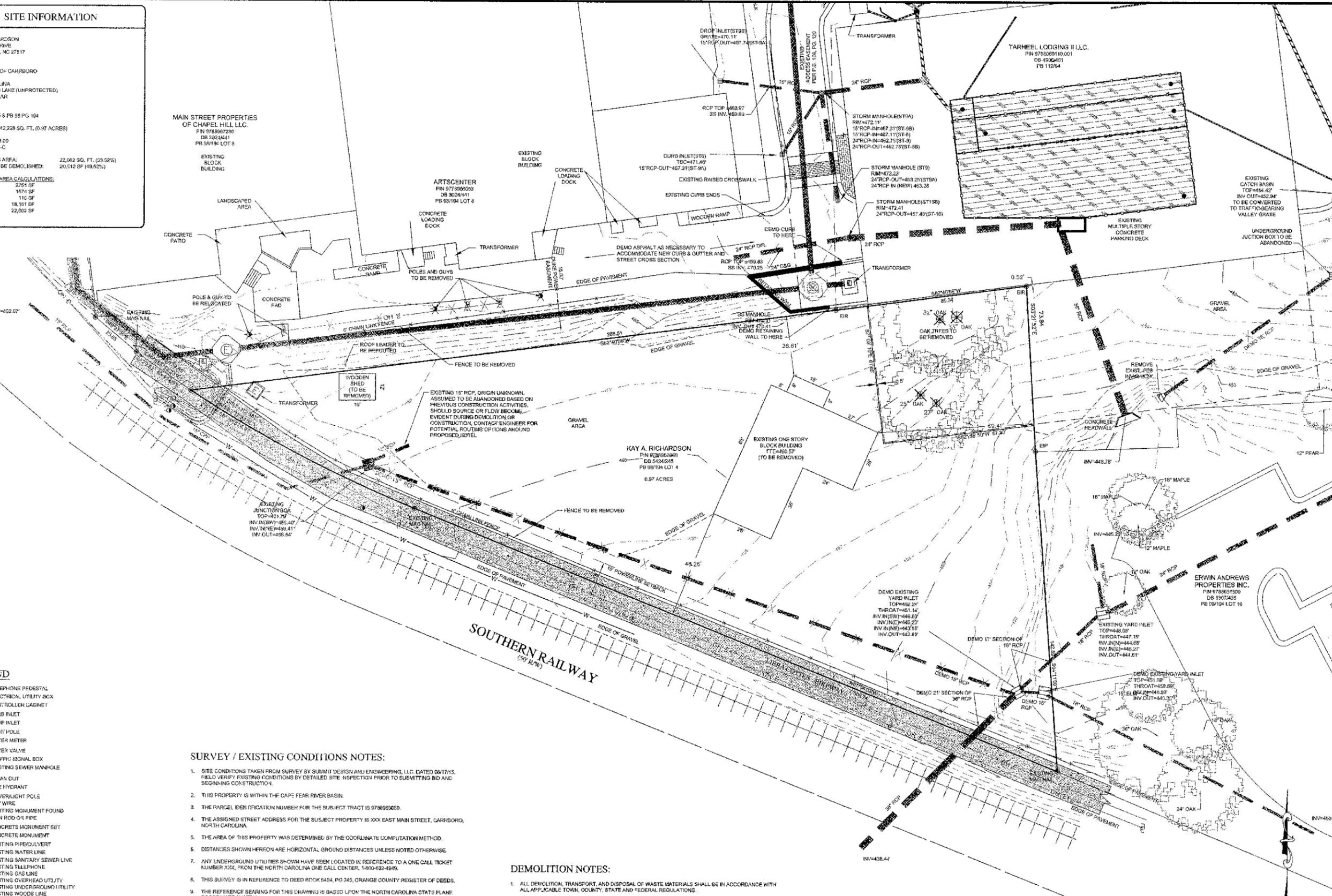
MAIN STREET PROPERTIES  
OF CHAPEL HILL, LLC.  
PN 978892290  
DB 3924441  
PB 99194 LOT 8

ARTSCENTER  
PN 977899060  
DB 3024141  
PB 99194 LOT 6

TARHEEL LODGING II, LLC.  
PN 978806110.001  
DB 4906401  
PB 11264

KAY A. RICHARDSON  
PN 978862969  
DB 5424245  
PB 99194 LOT 4  
0.97 ACRES

ERWIN ANDREWS PROPERTIES INC.  
PN 978805100  
DB 1907455  
PB 99194 LOT 10



**LEGEND**

- TELEPHONE PEDESTAL
- ELECTRICAL UTILITY BOX
- CONTROLLER CABINET
- CURB INLET
- DROP INLET
- LIGHT POLE
- WATER METER
- WATER VALVE
- TRAFFIC SIGNAL BOX
- EXISTING SEWER MANHOLE
- CLEAN OUT
- FIRE HYDRANT
- POWERLIGHT POLE
- GUY WIRE
- EXISTING MANHOLE FOUND
- IRON ROD OR PIPE
- CONCRETE MONUMENT SET
- CONCRETE MONUMENT
- EXISTING PIPE/UTILITY
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING TELEPHONE
- EXISTING GAS LINE
- EXISTING OVERHEAD UTILITY
- EXISTING UNDERGROUND UTILITY
- EXISTING WOODS LINE
- LIMITS OF DISTURBANCE LINE

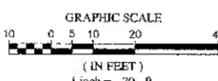
**SURVEY / EXISTING CONDITIONS NOTES:**

- SITE CONDITIONS TAKEN FROM SURVEY BY SUMMIT DESIGN AND ENGINEERING, LLC, DATED 06/17/15. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- THIS PROPERTY IS WITHIN THE CAPE FEAR RIVER BASIN.
- THE PARCEL IDENTIFICATION NUMBER FOR THE SUBJECT TRACT IS 9788696000.
- THE ASSIGNED STREET ADDRESS FOR THE SUBJECT PROPERTY IS XXX EAST MAIN STREET, CARRBORO, NORTH CAROLINA.
- THE AREA OF THIS PROPERTY WAS DETERMINED BY THE COORDINATE COMPUTATION METHOD.
- DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES UNLESS NOTED OTHERWISE.
- ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED IN REFERENCE TO A ONE CALL TICKET NUMBER XXX, FROM THE NORTH CAROLINA ONE CALL CENTER, 1-800-432-6849.
- THIS SURVEY IS IN REFERENCE TO DEED BOOK 6424, PG 245, ORANGE COUNTY REGISTER OF DEEDS.
- THE REFERENCE BEARING FOR THIS DRAWING IS BASED UPON THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM.
- ELEVATIONS SHOWN ARE BASED ON THE NAVD 83 DATUM ONE-FOOT AND FIVE-FOOT CONTOUR INTERVALS ARE SHOWN.
- THIS PROPERTY IS LOCATED WITHIN THE LIMITS OF THE TOWN OF CARRBORO, NORTH CAROLINA.
- WATER LINES SHOWN HEREON ARE APPROXIMATELY 3'-4' DEEP. ACCORDING TO THE CITY OF MARION PUBLIC WORKS, HOWEVER CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS AND DEPTHS PRIOR TO EXCAVATION ACTIVITIES IN THAT APPROXIMATE AREA.
- THIS PROPERTY IS LOCATED WITHIN THE "ZONE X" FLOOD HAZARD ZONE AS SHOWN ON DFIRM PANEL 371097800, DATED FEBRUARY 2, 2007.
- THE CONTRACTOR SHALL MAINTAIN ANY EXISTING ACCESS TO ADJACENT RESIDENCES, BUSINESSES AND PROPERTIES AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS NECESSARY FOR CONSTRUCTION/DEMOLITION.

**DEMOLITION NOTES:**

- ALL DEMOLITION, TRANSPORT, AND DISPOSAL OF WASTE MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWN, COUNTY, STATE AND FEDERAL REGULATIONS.
- REGULATED MATERIALS SUCH AS ASBESTOS, LEAD, ETC. MAY EXIST ON SITE AND SHALL BE IDENTIFIED AND A PLAN FOR DEMOLITION AND DISPOSAL PRESENTED TO AND APPROVED BY THE CITY/COUNTY AND OWNERS PRIOR TO COMMENCING DEMOLITION ON CORRESPONDING STRUCTURES.
- THE LOCATIONS OF ALL EXISTING FEATURES SHOWN ON THIS SHEET WERE PROVIDED AS PART OF THE SURVEY REFERENCED ON THIS SHEET. OTHER UNIDENTIFIED UTILITIES OR SITE FEATURES MAY EXIST AND SPECIAL CARE SHALL BE EXERCISED DURING ANY SUBGRADE WORK OR DEMOLITION TO PREVENT UNINTENDED LOSS OF SERVICE TO SURROUNDING PROPERTIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE NCDOT RIGHTS OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHTS-OF-WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO NCDOT STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, CURBS & GUTTER, PAVEMENT, SIGNS AND ROADSIDE SWALES.
- CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN, IF REQUIRED BY ENCROACHMENT PERMIT TO NCDOT FOR APPROVAL PRIOR TO ANY WORK WITHIN THE NCDOT RIGHT-OF-WAY.
- ALL UTILITIES ARE TO BE REMOVED, DISPOSED OF, AND/OR ABANDONED PER THE CORRESPONDING SERVICE PROVIDERS GUIDELINES.

- CONSTRUCTION WASTE:**
- ALL EXISTING STRUCTURES 600 SQUARE FEET AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DE-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.
  - BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
  - BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
  - PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL HOLD A PRE-FRAME CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.



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PROJECT NUMBER  
DRAWN BY  
JCC

PROJECT ENGINEER/ARCHITECT  
CEA  
PROJECT MANAGER  
CEA

NOT FOR CONSTRUCTION  
NORTH CAROLINA  
REGISTERED PROFESSIONAL ENGINEER  
ERWIN ANDREWS  
CONSTRUCTION

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CUP MAJOR MODIFICATION DRAWINGS  
**HILTON GARDEN INN**  
OWNER: KAY RICHARDSON  
APPLICANT: MAIN STREET PROPERTIES OF CHAPEL, LLC  
CHAPEL HILL, NC 27515 (919) 823-4243 (PH081)

**EXISTING CONDITIONS & DEMOLITION PLAN**

PROJECT NO:  
**15-HGI**  
DRAWING NAME:  
15-HGI\_XC  
SHEET NO:  
C-2

- KEY LEGEND**
- A. PROPERTY LINE
  - B. 8' CROSSWALK, TYPICAL
  - C. 24" VALLEY CURB & GUTTER, TYPICAL
  - D. STANDARD PARKING SPACE, 9.5' W X 16' L

**CONSTRUCTION SCHEDULE:**  
 THE AREA JUST SOUTH OF THE EXISTING PARKING STRUCTURE WILL BECOME THE CONSTRUCTION ACCESS FOR THE NEW HOTEL CONSTRUCTION. IT WILL CONNECT TO A CONSTRUCTION ENTRANCE FROM BOYD STREET, WITH PROPER CONSTRUCTION ENTRIES AND EROSION CONTROL MITIGATION.

INSTALL CONSTRUCTION ENTRANCE, ROUTES AND PARKING AREAS. THE ADJACENT PROPERTIES TO THE EAST OF THE PROJECT SITE ON BOYD STREET (103 & 105 BOYD STREET) ARE NOW CONTROLLED BY PROJECT OWNERS AND WILL BE USED FOR CONSTRUCTION STAGING, STORAGE AND ACCESS.

INSTALL SEDIMENT FENCES, OUTLET PROTECTION, AND INLET PROTECTION. INSTALL PRINCIPAL STORM DRAINS.

CLEARING AND GRADING, SITE PREPARATION, CUTTING, FILLING, SEDIMENT BARRIERS, CONVERSIONS, BIORETENTION RETAINING WALL AND INSTALLATION OF UNDERGROUND PIPE DETENTION SYSTEM UNDER INTERIM SURFACE PARKING. (BIKEWAY WIDTH WILL NEED TO BE REDUCED DURING CONSTRUCTION OF BIORETENTION WALL)

INSTALL UNDERGROUND UTILITIES (SHORT CLOSURE OF BIKEWAY FOR INSTALLATION OF WATER MAIN) SURFACE STABILIZATION - TEMPORARY/PERMANENT STABILIZATION IMMEDIATELY ON ALL DISTURBED AREAS WHERE WORK IS DELAYED OR COMPLETE.

**HOTEL BUILDING CONSTRUCTION**

LANDSCAPING (INCLUDING BIORETENTION PLANTINGS) AND FINAL STABILIZATION

INTERIM SURFACE PARKING CONSTRUCTION, FOUNDATION FOR FUTURE PARKING DECK INCLUDING UTILITIES & PAVING; AS CONSTRUCTION NEARS COMPLETION FOR THE HOTEL BUILDING, THIS AREA WILL BE DEVELOPED INTO A SURFACE PARKING LOT AND DRIVE ACCESS FOR THE HOTEL. THIS WORK WILL INCLUDE SUBSURFACE PREPARATION AND STORM WATER TREATMENT WORK IN THE AREA OF THE PARKING PAD. NEW FOOTINGS AND A RETAINING WALL WILL BE CONSTRUCTED ON THE SOUTH, EAST AND WEST SIDES OF THE EXPANSION AREA. ONCE THIS AREA IS PROPERLY COMPACTED AND BACKFILLED, A TEMPORARY PARKING SURFACE WILL BE PLACED. THIS AREA IS LIKELY TO BE ASPHALT AS THE INTERIM CONDITION, BECAUSE THE CRANE THAT WILL ERECT THE DECK EXPANSION WOULD DAMAGE A CONCRETE SLAB. OTHER ASSOCIATED WORK WITH THE INTERIM PHASE WILL BE EROSION CONTROL, LANDSCAPING, AND NEW LIGHTING AS SHOWN ON THE PLANS.

THIS INTERIM PARKING AREA WILL BECOME THE FOOTPRINT AND FOUNDATION FOR THE FUTURE PARKING DECK EXPANSION. WHEN THE DECK EXPANSION IS REQUIRED BY OTHER DEVELOPMENT ON SITE, THE TEMPORARY ASPHALT DRIVE AND PARKING AREA WILL BE REMOVED AND A NEW PERMANENT CONCRETE SLAB PLACED BEFORE THE UPPER LEVELS OF THE PRECAST DECK ARE PLACED. THE PRECAST DOUBLE-T CONSTRUCTION (IDENTICAL TO THE EXISTING DECK) WILL FORM THE NEW DECK BAY (SEE DRAWING SET FOR BUILT-OUT CONDITIONS). IT IS OUR UNDERSTANDING THAT THE CRANE WHICH WILL SET THIS PORTION OF THE DECK WILL WORK FROM WEST TO EAST, BACKING ITS WAY TOWARD BOYD STREET (AND MINIMIZING CONSTRUCTION DISTURBANCE TO THE EXISTING HOTEL(S) AND SURROUNDING BUSINESSES AND RESIDENTS).

**FUTURE CONSTRUCTION - PARKING DECK EXPANSION**

**MAIN STREET PROPERTIES OF CHAPEL HILL LLC.**  
 PIN 978967280  
 DB 9824441  
 PB 98194 LOT 8

EXISTING BLOCK BUILDING

ARTSCENTER  
 PIN 977986653  
 ER 9824441  
 PB 98194 LOT 8

COMMERCIAL (MULTIPLE CLASSIFICATIONS)

EXISTING BLOCK BUILDING

**TARHEEL LODGING II LLC.**  
 PIN 9788060110.011  
 DB 4005401  
 PB 11284

EXISTING MULTIPLE STORY CONCRETE PARKING DECK

EXISTING CATCH BASIN  
 TOP=494.42'  
 INV OUT=452.94'  
 TO BE CONNECTED TO TRAFFIC-BEARING VALLEY GRATE

UTILITY INSET  
 1'-6"

EXISTING UNDERGROUND GARAGE FOR DOMESTIC WATER METERS

EXISTING 10' X 10' X 7' DEEP OCTAGONAL MANHOLE

EXISTING MANHOLE

RELOCATED UTILITY POLE

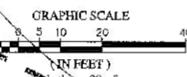
CONCRETE PAD

EXISTING UNDERGROUND GARAGE

- NOTES:**
- NO SETBACKS ARE REQUIRED FOR THIS DISTRICT.
  - FIRE LANE STRIPING WILL BE COORDINATED WITH THE CARRBORO FIRE MARSHAL PRIOR TO THE ISSUANCE OF A C.O. PER CHAPTER 12 OF THE CARRBORO TOWN CODE.
  - A HAND SURFACE IS REQUIRED PRIOR TO BUILDING CONSTRUCTION (CONTACT FIRE DEPARTMENT FOR FURTHER INFORMATION).
  - NO 9' HEADSTREAM BUFFERS ON-SITE PER RANDY DODD EMAIL 6/22/2016.
  - NO TREES 18" DBH OR GREATER ON-SITE.
  - NO RARE TREES ON-SITE.
  - NO FRAMING MAY BEGIN UNTIL HYDRANTS ARE OPERATIONAL.
  - AN ALL-WEATHER TRAVEL SURFACE MUST BE IN PLACE ON THE ROADWAY PRIOR TO RECEIVING FINAL PLAT AND/OR BUILDING PERMITS.
  - HOTEL WILL BE FULLY SPRINKLERED PER NFPA-13.
  - ONLY LIGHTING PROVIDED WILL BE FULL CUTOFF FIXTURES MOUNTED ON THE BUILDING NOT TO EXCEED 15 FEET TO TOP OF LIGHT.
  - EXISTING DUKE ENERGY, TIME WARNER, AND AT&T AERIAL SERVICES WILL BE RELOCATED UNDERGROUND FROM AN EXISTING OR RELOCATED POLE IN THIS VICINITY (TO BE COORDINATED WITH DUKE ENERGY).
  - THIS PROJECT TO BE CONSTRUCTED IN ONE PHASE.
  - NO FLOODWAYS OF FLOOD PLANS ON PROJECT SITE.

**UTILITIES LEGEND:**

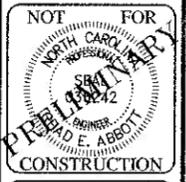
- |                  |                               |
|------------------|-------------------------------|
| EXIST / PROPOSED | WATER VALVE                   |
| EXIST / PROPOSED | FIRE HYDRANT                  |
| EXIST / PROPOSED | WATER METER                   |
| EXIST / PROPOSED | PIPE DEPT. CONNECTION (FDC)   |
| EXIST / PROPOSED | REDUCER                       |
| EXIST / PROPOSED | PLUG & BLOCK                  |
| EXIST / PROPOSED | MECHANICAL JOINT / BEND       |
| EXIST / PROPOSED | POST INDICATOR VALVE (PIV)    |
| EXIST / PROPOSED | AIR RELEASE VALVE (ARV)       |
| EXIST / PROPOSED | SANITARY SEWER MANHOLE        |
| EXIST / PROPOSED | SEWER CLEAN OUT               |
| EXIST / PROPOSED | CURB INLET                    |
| EXIST / PROPOSED | DROP INLET                    |
| EXIST / PROPOSED | JUNCTION BOX                  |
| EXIST / PROPOSED | FLARED END SECTION (FES)      |
| EXIST / PROPOSED | EXISTING WATER MAIN           |
| EXIST / PROPOSED | PROPOSED WATER MAIN / SERVICE |
| EXIST / PROPOSED | EXISTING GAS MAIN             |
| EXIST / PROPOSED | PROPOSED GAS MAIN             |
| EXIST / PROPOSED | EXISTING OVERHEAD ELECTRIC    |
| EXIST / PROPOSED | PROPOSED UNDERGROUND ELECTRIC |
| EXIST / PROPOSED | EXISTING SEWER MAIN           |
| EXIST / PROPOSED | PROPOSED SEWER MAIN / SERVICE |
| EXIST / PROPOSED | EXISTING STORM PIPE           |
| EXIST / PROPOSED | PROPOSED STORM PIPE           |



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 SUMMIT DESIGN AND ENGINEERING SERVICES  
 1500 W. HARRIS STREET, SUITE 100  
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**PROJECT ENGINEER/ARCHITECT**  
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**CUP MAJOR MODIFICATION DRAWINGS**  
**HILTON GARDEN INN**  
 OWNER: KAY RICHARDSON  
 APPLICANT: MAIN STREET PROPERTIES OF CHAPEL HILL, LLC  
 CHAPEL HILL, NC 27514

**SITE & UTILITY PLAN**

PROJECT NO: 15-HGI  
 DRAWING NAME: 15-HGI\_S  
 SHEET NO: C-3

**STORMWATER DRAINAGE AND MANAGEMENT NARRATIVE**

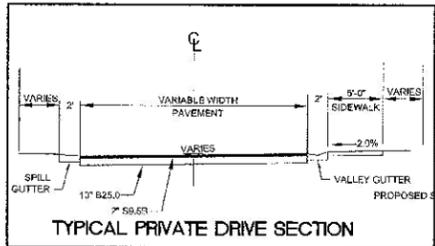
**EXISTING CONDITIONS:**  
 THE 0.97 ACRE SITE HAS 45% IMPERVIOUS COMPRISED OF 0.417 ACRES OF GRAVEL, 0.063 ACRES OF CONCRETE, 0.286 ACRES OF PAVEMENT, 0.085 ACRES OF ROOF (ABANDONED AUTOMOBILE REPAIR STRUCTURE AND STORAGE BUILDING) WITH A BALANCE OF 0.451 ACRES OF PERVIOUS. IT SHOULD BE NOTED, HOWEVER, IF PREVIOUS YEARS OF ARIAL SURVEY ARE EVALUATED THE TRUE IMPERVIOUS IS PROBABLY MUCH HIGHER BUT THIN LAYERS OF SOIL HAVE ALLOWED GRASSES TO GROW OBSCURING IMPERVIOUS JUST UNDERNEATH. CONSERVATIVE CURRENT CONDITIONS WERE UTILIZED IN THE CALCULATIONS. THE HIGH POINT OF THE SITE IS ON THE NORTHERN BOUNDARY NEAR THE ENTRANCE TO THE 200 EAST MAIN PARKING DECK AND THE SITE SLOPES IN A ROUGHLY NORTHWEST TO SOUTHEAST DIRECTION TO THE LOW POINT OF THE SITE JUST NORTHWEST OF A 36" REINFORCED CONCRETE PIPE UNDER THE RAILROAD AND BIKE PATH. ALL THE DRAINAGE OF THE SITE FLOWS TO THIS 36" PIPE. A SUB TOP JUNCTION BOX IS LOCATED AT THE NORTHWEST CORNER OF THE PROPOSED HOTEL WHICH CONVEYS A 15" PIPE WHICH TRANSPORTS OFF-SITE FLOW. THIS PIPE FLOWS TO A JUNCTION BOX 116 TO THE 36" RAILROAD CULVERT. THIS PIPE WILL BE REPLACED WITH A 24" HDPE PIPE UNDERNEATH THE PROPOSED BIOTRETENTION AREA (SEE BELOW) AND OUT FROM UNDERNEATH THE PROPOSED HOTEL STRUCTURE. AT THE SOUTHEASTERN CORNER OF THE PROPERTY THERE IS A JUNCTION BOX WHICH RECEIVES FLOW FROM THE PROPERTY TO THE EAST (110 BREWER ST. TAKE R/W ON DO FACILITY AND MULTIFAMILY RESIDENCES). IN ORDER TO ACCOMMODATE THE PROPOSED HOTEL THIS SYSTEM WILL BE RE-ROUTED VIA NEW JUNCTION BOXES.

**PROPOSED CONDITIONS:**  
 THE FOOTPRINT OF THE PROPOSED HOTEL COVERS APPROXIMATELY 0.61 ACRES, WITH THE REMAINING 0.3 ACRES BEING A PORTION OF THE BIKE PATH, DROP-OFF AREA, SIDEWALKS, SOLID WASTE ENCLOSURE/ACCESS AND PARKING DECK EXPANSION AREA. IN ORDER TO ADDRESS THE TOWN OF CARBORO'S STORMWATER ORDINANCE REQUIREMENTS APPROXIMATELY 2,169 SQUARE FEET OF BIOTRETENTION AREA WILL BE INSTALLED BETWEEN THE BIKE PATH AND THE HOTEL ALONG THE SOUTHWEST PROPERTY LINE. IN ORDER TO ADDRESS REMOVAL OF 85% OF TOTAL SUSPENDED SOLIDS (TSS) THE FIRST ONE INCH OF RUNOFF (WATER QUALITY VOLUME) WILL BE DIRECTED FROM THE ROOF DRAINS INTO THE BIOTRETENTION CELLS WHICH WILL BE TIERED TO FOLLOW THE SLOPE OF THE BIKE PATH. ANY RUNOFF FROM THE ROOF DRAINS BEYOND THE ONE INCH WILL BE DIRECTED VIA STORM DRAINAGE PIPES TO AN UNDERGROUND STORAGE SYSTEM OF HDPE PIPES UNDERNEATH THE ADJACENT SURFACE LEVEL PARKING AREA ASSOCIATED WITH THE 300 E. MAIN DECK. THE EXISTING ACCESS TO THE REAR OF THE ARTS CENTER, RESTAURANT, BREWERY AND CATS GRADLE WILL BE WIDENED. THE STORMWATER IN THIS AREA WILL BE CAPTURED BY A NEW GRATED INLET LOCATED IN A SLUMP CONDITION WHICH WILL TRANSPORT THE STORMWATER TO AN EXISTING JUNCTION BOX JUST WEST OF THE DECK ENTRANCE TO THE PARKING DECK SAND HILDER (AS ACCOUNTED FOR IN THE 300 EAST MAIN PROJECT). THE CALCULATED WATER QUALITY VOLUME REQUIRED IS 2,508 CUBIC FEET. THE BIOTRETENTION AREA IS APPROXIMATELY 2,169 SQUARE FEET. UTILIZING THE JORDAN ACCOUNTING TOOL THE PRE-DEVELOPMENT RUNOFF IS 85,764 CUBIC FEET AND THE POST-DEVELOPMENT RUNOFF WITH THE BMP IS 86,322 WHICH IS BASED ON A PRE-DEVELOPMENT CURVE NUMBER OF 79 WHICH MEETS THE GOAL OF MAINTAINING THE MAXIMUM ALLOWABLE INCREASE IN ANNUAL STORMWATER RUNOFF VOLUME BELOW 80%. THE POST-DEVELOPMENT NUTRIENT LOADS IN 10.89, WITH THE BMP IT IS REDUCED TO 6.31, WHICH IS JUST SHY OF THE GOAL OF 6.23. THE SHORTAGE WILL BE ACHIEVED BY THE INSTALLATION OF A FILTER MEDIA BYPASS. THE POST-DEVELOPMENT NUTRIENT LOADS IS CALCULATED TO BE 1.42, WITH THE BMP REDUCING IT TO 0.77 WHICH IS LESS THAN THE GOAL OF 0.87. THE REMAINING NUTRIENT LOADS WILL BE ADDRESSED BY UTILIZING THE "BUY DOWN" OPTION ONCE THE 60% ONSITE REDUCTION HAS BEEN ACHIEVED. THE 1, 2, 4, 10 AND 25 YEAR PEAK FLOW DISCHARGE RATES WILL BE MANAGED BY STORING THE OVERFLOW INTO THE UNDERGROUND DETENTION AREA AND RELEASING IT VIA AN ORIFICE CONTROLLED OUTLET STRUCTURE INTO THE EXISTING DRAINAGE WHICH FLOWS TO THE 36" PIPE UNDER THE RAILROAD. ALL EXISTING STORMWATER INFRASTRUCTURE ON AND ADJACENT TO THE SUBJECT PROPERTY WILL BYPASS OR BE ROUTED AROUND THE SITE SUCH THAT GATES COULD TREAT ONLY RUNOFF FROM THE PROPOSED DEVELOPMENT.

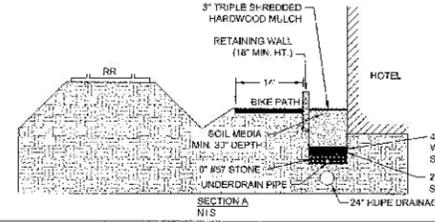
APPROXIMATE WATER QUALITY VOLUME 2,508 CF  
 WATER QUALITY VOLUME PROVIDED BY BIOTRETENTION 2,169 CF  
 PREDEVELOPMENT RUNOFF VOLUME 85,764 CF  
 REQUIRED REDUCTION IN ANNUAL RUNOFF = 80% (BASE ON 79 PRE DEV. CN)  
 POST DEVELOPMENT RUNOFF VOLUME WITH BMP 86,322 CF

**DISTURBED AREA**  
 ON SITE: 0.94 AC  
 OFF SITE: 0.30 AC  
 TOTAL: 1.14 AC

**NOTES:**  
 1. NO FLOODWAYS, FLOODPLAINS, STREAMS OR STREAM BUFFERS EXIST ON THIS SITE.



NOTE: ALL INSTALLED BMPs (WATER QUALITY AND DETENTION) MUST BE CERTIFIED BY THE ENGINEER OF RECORD AS CONSTRUCTED PER THE APPROVED CONSTRUCTION PLANS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. AS-BUILT CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN.



**EROSION CONTROL CONSTRUCTION SCHEDULING**  
 INSTALL CONSTRUCTION ENTRANCE, ROUTES AND PARKING AREAS  
 INSTALL SEDIMENT FENCES, OUTLET PROTECTION, AND INLET PROTECTION.  
 INSTALL PRINCIPAL STORM DRAINING  
 CLEARING AND GRADING, SITE PREPARATION, CUTTING, FILLING, SEDIMENT BARRIERS, DIVERSIONS  
 SURFACE STABILIZATION - TEMPORARY/PERMANENT STABILIZATION IMMEDIATELY ON ALL DISTURBED AREAS WHERE WORK IS DELAYED OR COMPLETE  
 BUILDING CONSTRUCTION - BUILDINGS UTILITIES & PAVING  
 LANDSCAPING AND FINAL STABILIZATION

**MAIN STREET PROPERTIES OF CHAPEL HILL LLC.**  
 PIN 978967280  
 DB 3924411  
 PB 86194 LOT 8

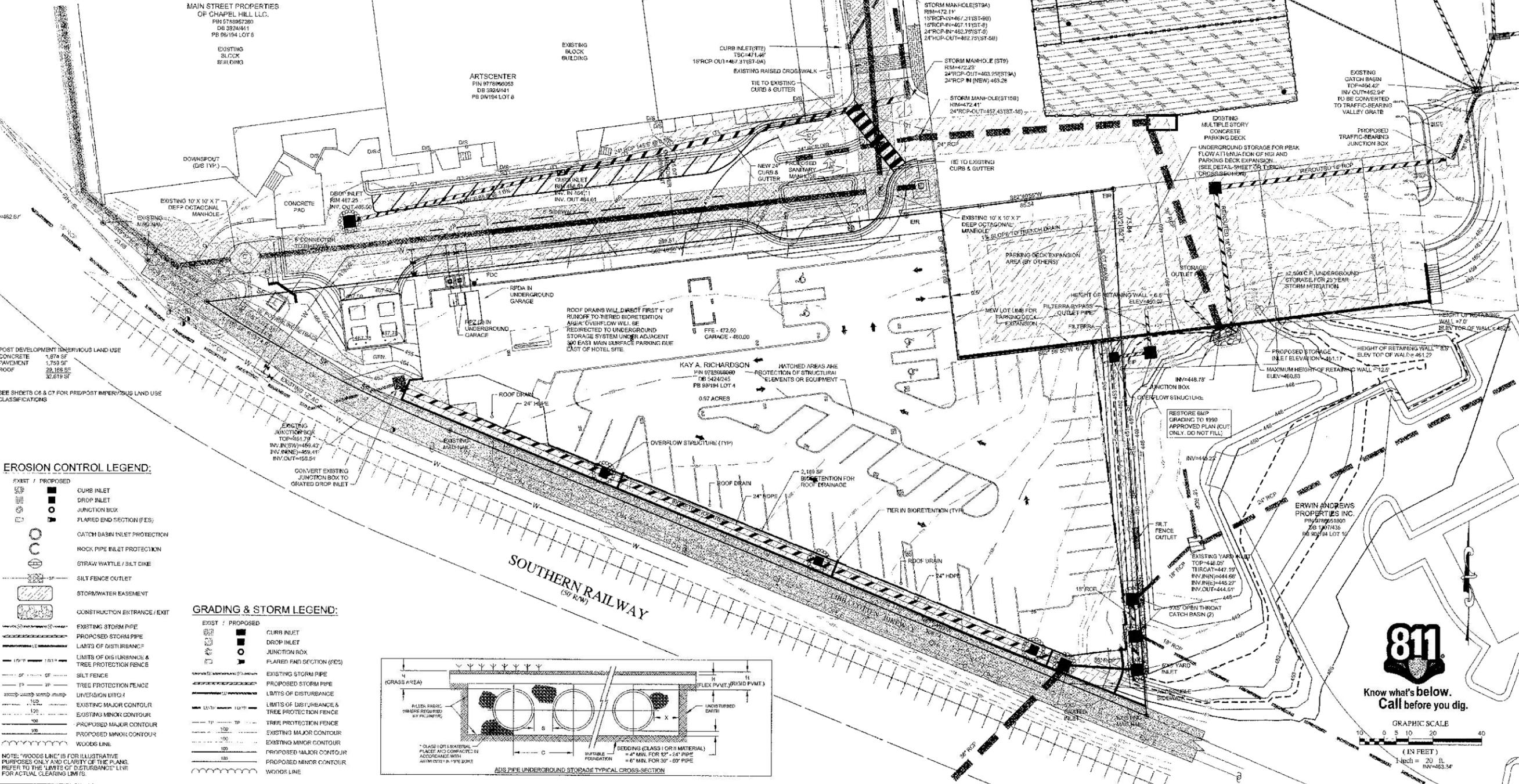
**ARTSCENTER**  
 PIN 977860553  
 DB 3924411  
 PB 86194 LOT 8

**TARHEEL LODGING II LLC.**  
 PIN 978850110.601  
 DB 4901401  
 PB 112564

**EXISTING MULTIPLE STORY CONCRETE PARKING DECK**

**EXISTING CATCH BASIN**  
 TOP=404.42'  
 INV. OUT=402.94'  
 TO BE CONVERTED TO TRAFFIC-BEARING VALLEY GRATE

**PROPOSED TRAFFIC-BEARING JUNCTION BOX**

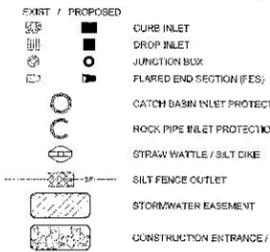


**POST DEVELOPMENT IMPERVIOUS LAND USE CLASSIFICATIONS**

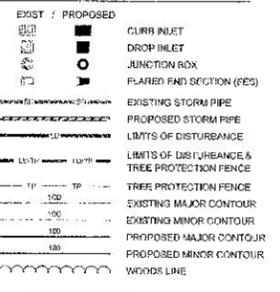
CONCRETE	1,674 SF
PAVEMENT	1,759 SF
ROOF	29,188 SF
	32,621 SF

SEE SHEETS C6 & C7 FOR PREPOST IMPERVIOUS LAND USE CLASSIFICATIONS

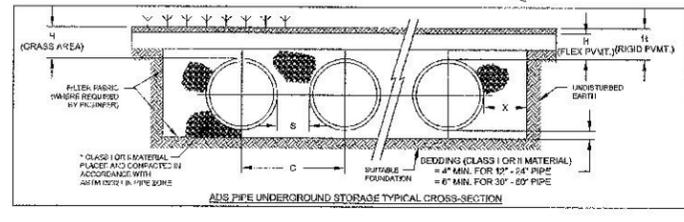
**EROSION CONTROL LEGEND:**



**GRADING & STORM LEGEND:**



NOTE: "WOODS LINE" IS FOR ILLUSTRATIVE PURPOSES ONLY AND CLARITY OF THE PLAN. REFER TO THE LIMITS OF DISTURBANCE LINE FOR ACTUAL CLEARING LIMITS.



NO.	DATE	REVISIONS
7		
6		
5		
4		
3	10-23-2014	ACC
2	9-9-2015	ACC
1		

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 CHAPEL HILL, NC 27514  
 PROJECT MANAGER: DEAN  
 DESIGNER: JACOB  
 CHECKER: JACOB  
 DATE: 10-23-2014  
 BY: JACOB

**NOT FOR CONSTRUCTION**  
 NORTH CAROLINA  
 PROFESSIONAL SEAL  
 JACOB E. ABBOTT  
 ENGINEER

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 www.summitinc.net

**CUP MAJOR MODIFICATION DRAWINGS**  
**HILTON GARDEN INN**  
 OWNER: HILTON GARDEN INN  
 APPLICANT: MAIN STREET PROPERTIES OF CHAPEL HILL LLC  
 PROJECT NO.: 15-HGI  
 DRAWING NAME: 15-HGI\_G  
 SHEET NO.: C-4  
**GRADING, STORM DRAINAGE PLAN & EROSION CONTROL PLAN**



Know what's below.  
 Call before you dig.

GRAPHIC SCALE  
 0 5 10 20 40  
 (IN FEET)  
 1 inch = 20 ft.  
 INV=463.3'

**REQUIRED SCREENING (SECTION 15-300)**

PROJECT	ADJACENT USE	REQUIRED SCREENING	REMARKS
3400	104 BREWER LANE (1,300)	TYPE B	PROVIDED EXCEPT FOR VICINITY OF REROUTED STORMWATER
	300 EAST MAIN (MU)	TYPE A	PER SECTION 15-300(D)(2) SINCE THIS IS COMMERCIAL ADJACENT TO COMMERCIAL - WAIVER IS BEING REQUESTED
	380 EAST MAIN (10,000)	TYPE A	PER SECTION 15-300(D)(2) SINCE THIS IS COMMERCIAL ADJACENT TO COMMERCIAL - WAIVER IS BEING REQUESTED
	RAILROAD	NA	WHERE EASEMENTS ALLOW, SEMI-OPAQUE SCREEN PLANTS ARE PROVIDED BIKERETENTION RETAINING WALL AND PLANTS WILL PROVIDE SCREENING ALSO

**REQUIRED TREES ALONG DEDICATED STREETS (15-316)**

NONE: BECAUSE NO NEW STREET ARE BEING CREATED

**RETENTION AND PROTECTION OF SPECIMEN AND RARE TREES (15-317)**

NONE: SEE EXHIBIT 8 - TREE REMOVAL JUSTIFICATION

**TREE CANOPY COVERAGE (SECTION 15-319)**

EXISTING COVERAGE = 0 = DEFICIT  
 MINIMUM COVERAGE REQUIRED FOR B-1(a) = 15%  
 REPLACEMENT CANOPY REQUIRED = (SITE AREA - EASEMENTS) x 0.15 + 500 SF/TREE  
 = (33,853 x 0.15) + 5,000 S.F. CANOPY REQUIRED  
 = 5,078 S.F.  
 CANOPY PROVIDED: 12 - 2.5" CALIPER RED MAPLES @ 500 S.F. EA = 6,000 S.F.  
 TOTAL CANOPY COVERAGE PROVIDED = 6,000 S.F.

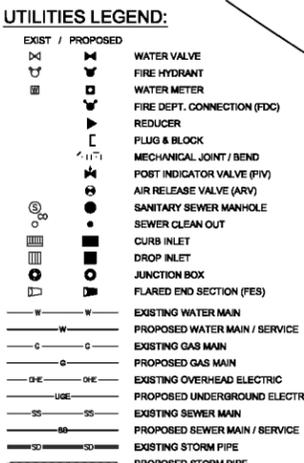
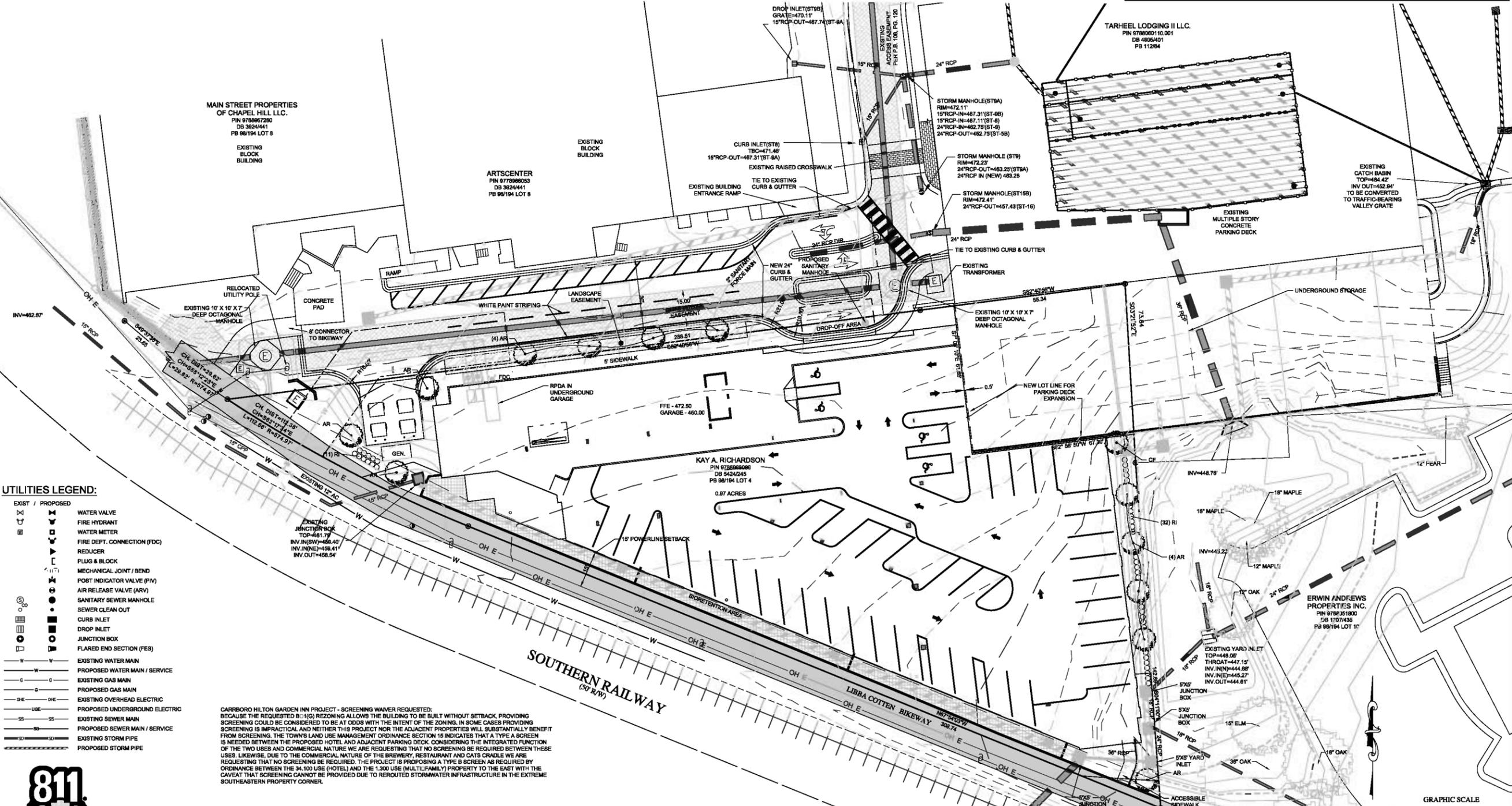
**VAA SHADING (SECTION 15-318)**

VAA ON SITE: 4,281 (4,053 S.F. PARKING; 155 S.F. DUMPSTER ACCESS; 43 S.F. DROP-OFF)  
 4,291 X 36% = 1,481 S.F. SHADING REQUIRED  
 SHADING PROVIDED: 5 X 34 S.F. = 1,700 S.F. (4 MAPLES ALONG ACCESS DRIVE, 1 AT DUMPSTER ACCESS)  
 1 X 157 S.F. = 157 S.F. (1 TREE IN FILTERRA)  
 TOTAL VAA SHADING PROVIDED = 1,857 S.F.

**REPLACEMENT TREES PROVIDED**

#	TREE	COUNT AS
1	2.5" CALIPER DOGWOOD	1
12	2.5" CALIPER ARMSTRONG MAPLE	12
	<b>TOTAL</b>	<b>13 TREES</b>

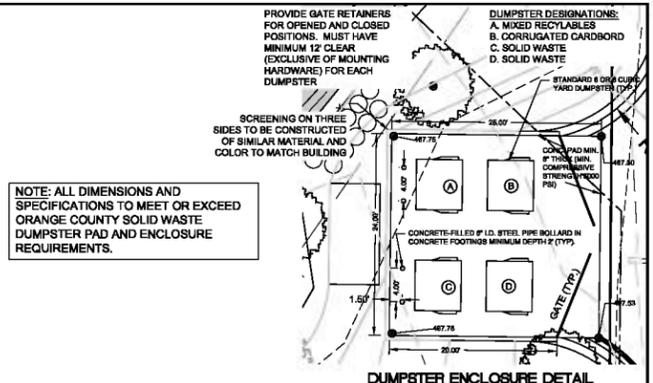
**LANDSCAPE NOTE**  
 1. NO TREE PROTECTION FENCING SHOWN BECAUSE NO TREES OR FORESTED AREAS TO BE RETAINED



**CARRBORO HILTON GARDEN INN PROJECT - SCREENING WAIVER REQUESTED:**  
 BECAUSE THE REQUESTED B-1(a) REZONING ALLOWS THE BUILDING TO BE BUILT WITHOUT SETBACK PROVIDING SCREENING COULD BE CONSIDERED TO BE AT ODDS WITH THE INTENT OF THE ZONING. IN SOME CASES PROVIDING SCREENING IS IMPRACTICAL AND NEITHER THIS PROJECT NOR THE ADJACENT PROPERTIES WILL SUBSTANTIALLY BENEFIT FROM SCREENING. THE TOWN'S LAND USE MANAGEMENT ORDINANCE SECTION 15 INDICATES THAT A TYPE A SCREEN IS NEEDED BETWEEN THE PROPOSED HOTEL AND ADJACENT PARKING DECK. CONSIDERING THE INTEGRATED FUNCTION OF THE TWO USES AND COMMERCIAL NATURE WE ARE REQUESTING THAT NO SCREENING BE REQUIRED BETWEEN THESE USES. LIKEWISE, DUE TO THE COMMERCIAL NATURE OF THE BREWERY, RESTAURANT AND CATS CRADLE WE ARE REQUESTING THAT NO SCREENING BE REQUIRED. THE PROJECT IS PROPOSING A TYPE B SCREEN AS REQUIRED BY ORDINANCE BETWEEN THE 34,100 USE (HOTEL) AND THE 1,300 USE (MULTI-FAMILY) PROPERTY TO THE EAST WITH THE CAVEAT THAT SCREENING CANNOT BE PROVIDED DUE TO REROUTED STORMWATER INFRASTRUCTURE IN THE EXTREME SOUTHEASTERN PROPERTY CORNER.

**PLANTING TABLE**

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING	CONTAINER
RI	RHAPHIDOLEPIS INDICA 'SPRINGTIME'	TM FULL, MATCHED	43	3 GAL	3' OC	CONTAINER
CF	CORNUS FLORIDA 'CHEROKEE CHIEF'	TM FULL, SINGLE TRUNK	1	2.5" CAL	20' OC	B&B
AR	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	12	2.5-3" CAL	20'-30' OC	B&B



NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3	PER TOWN OF CARRBORO SECOND REVIEW COMMENTS	10-23-2019	JDC
2	PER TOWN OF CARRBORO FIRST REVIEW COMMENTS	9-9-2019	JDC
1			

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**PROJECT ENGINEER/ARCHITECT**  
 CEA  
**PROJECT MANAGER**  
 CEA  
**DRAWN BY**  
 JDC

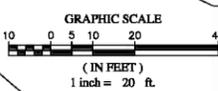
**NOT FOR CONSTRUCTION**  
 NORTH CAROLINA  
 MULTI-FAMILY  
 ROAD E. ABOUT

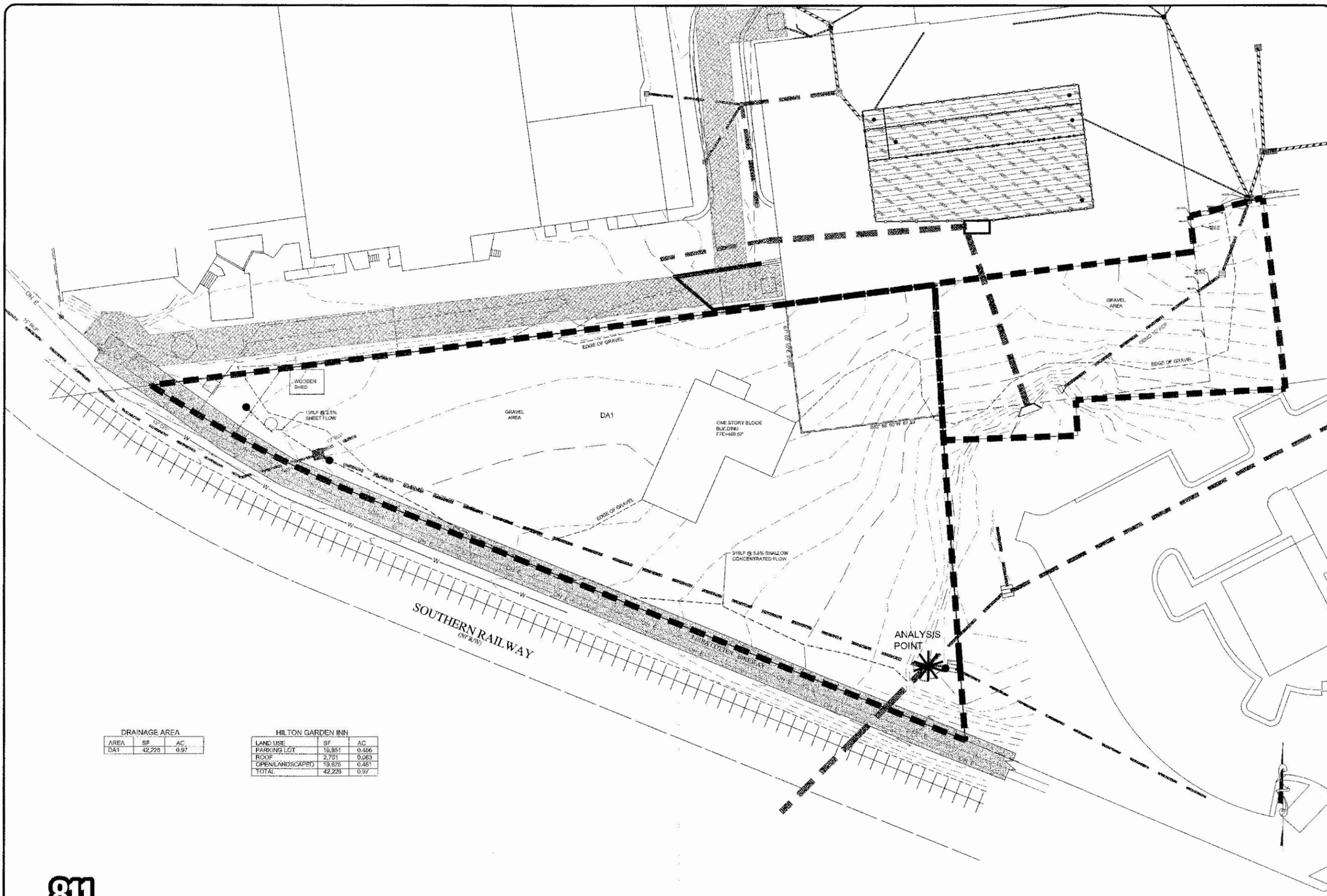
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**CUP MAJOR MODIFICATION DRAWINGS**  
**HILTON GARDEN INN**  
 OWNER: HILTON GARDEN INN  
 APPLICANT: MAIN STREET PROPERTIES OF CHAPEL HILL, LLC  
 PROJECT: HILTON GARDEN INN  
 CHAPEL HILL, NC 27517

**LANDSCAPE PLAN**

**PROJECT NO.**  
 15-HGI  
**DRAWING NAME:**  
 15-HGI\_LS  
**SHEET NO.**  
 C-5





DRAINAGE AREA

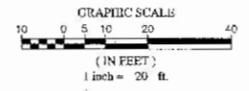
AREA	SF	AC
DA1	42,228	0.97

HILTON GARDEN INN

LAND USE	SF	AC
PARKING LOT	19,851	0.456
ROOF	2,751	0.063
OPEN/LANDSCAPED	19,626	0.451
TOTAL	42,228	0.97



Know what's below.  
Call before you dig.



NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3	PER TOWN OF CARBOR SECOND REVIEW COMMENTS	10-23-2015	JDC
2	PER TOWN OF CARBOR FIRST REVIEW COMMENTS	9-9-2015	JDC
1			

COMPANY: SUMMIT DESIGN AND ENGINEERING SERVICES  
 PROJECT: HILTON GARDEN INN  
 DRAWING: PRE DEVELOPMENT DRAINAGE MAP  
 DATE: 10-23-2015

PROJECT ENGINEER/ARCHITECT: CEA  
 PROJECT MANAGER: CEA  
 DRAWN BY: JDC  
 SCALE: 1" = 20'



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CUP MAJOR MODIFICATION DRAWINGS  
**HILTON GARDEN INN**  
 OWNER: HILTON GARDEN INN  
 APPLICANT: HILTON GARDEN INN  
 PROJECT: HILTON GARDEN INN  
 CHAPEL HILL, NC 27617

PROJECT NO.: 15-HGI  
 DRAWING NAME: 15-HGI\_DM-1  
 SHEET NO.: C-6

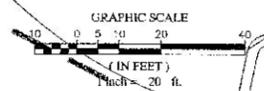
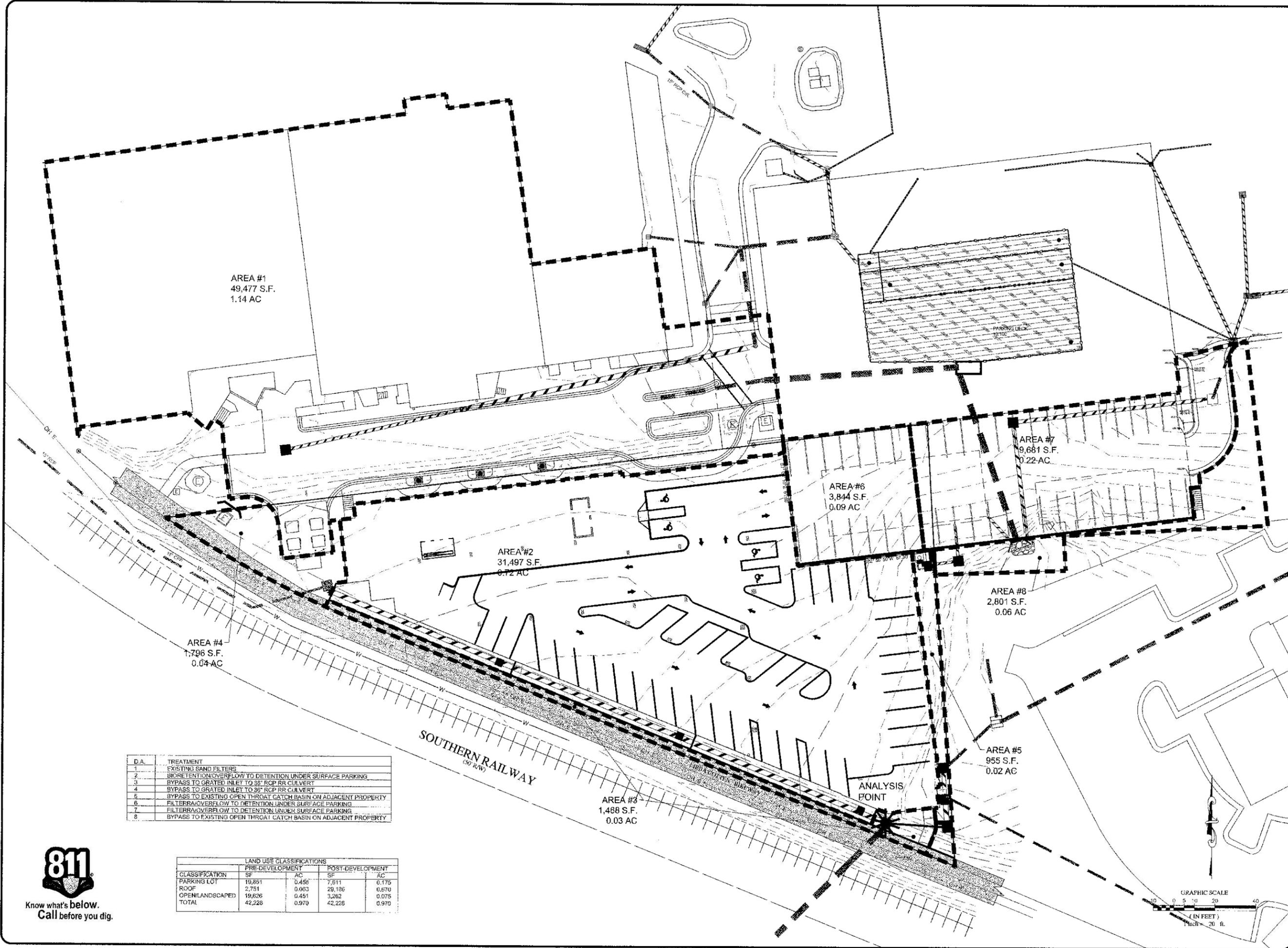
PRE DEVELOPMENT DRAINAGE MAP



Know what's below.  
Call before you dig.

D.A.	TREATMENT
1	EXISTING SAND FILTERS
2	BIORETENTION/OVERFLOW TO DETENTION UNDER SURFACE PARKING
3	BYPASS TO GRATED INLET TO 36" RCP RR CULVERT
4	BYPASS TO GRATED INLET TO 36" RCP RR CULVERT
5	BYPASS TO EXISTING OPEN THROAT CATCH BASIN ON ADJACENT PROPERTY
6	FILTERRA/OVERFLOW TO DETENTION UNDER SURFACE PARKING
7	FILTERRA/OVERFLOW TO DETENTION UNDER SURFACE PARKING
8	BYPASS TO EXISTING OPEN THROAT CATCH BASIN ON ADJACENT PROPERTY

CLASSIFICATION	PRE-DEVELOPMENT		POST-DEVELOPMENT	
	SF	AC	SF	AC
PARKING LOT	19,851	0.456	7,611	0.175
ROOF	2,751	0.063	29,196	0.670
OPEN/LANDSCAPED	19,626	0.451	3,262	0.075
TOTAL	42,228	0.970	42,228	0.970



NO.	DATE	BY	REVISIONS
7			
6			
5			
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3			
2	10-23-2015	BC	PER TOWN OF CARBORO SECOND REVIEW COMMENTS
1	9-9-2015	BC	PER TOWN OF CARBORO FIRST REVIEW COMMENTS

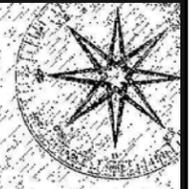
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 ENGINEERING SERVICES  
 DRAWING NUMBER: 15-HGI-DM2  
 PROJECT NAME: HILTON GARDEN INN  
 PROJECT LOCATION: 800 W. 10TH ST., CARBORO, NC 27813  
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PROJECT ENGINEER/ARCHITECT: CEA  
 PROJECT MANAGER: CEA  
 DRAWN BY: JDC  
 1" = 20'

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 www.summitdmi.com

CUP MAJOR MODIFICATION DRAWINGS  
**HILTON GARDEN INN**  
 OWNER: HILTON HOTELS & RESORTS  
 APPLICANT: HILTON HOTELS & RESORTS  
 CHAPEL HILL, NC 27517  
**POST DEVELOPMENT DRAINAGE MAP**

PROJECT NO: 15-HGI  
 DRAWING NAME: 15-HGI\_DM2  
 SHEET NO: C-7



**JIM SPENCER ARCHITECTS**

103 LLOYD ST.  
P.O. BOX 385  
CARRBORO, NC 27510

tel 919.960.6680  
fax 919.960.6682  
jspencerjsa@gmail.com

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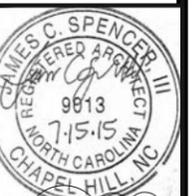
Project:

**300 EAST MAIN**

**PHASE B-1**

CARRBORO, NORTH CAROLINA

DEVELOPER:  
Main Street Properties  
of Chapel Hill, LLC.  
P.O. Box 2152  
Chapel Hill, NC 27515



SUPPLEMENTAL SUBMITTAL DRAWINGS

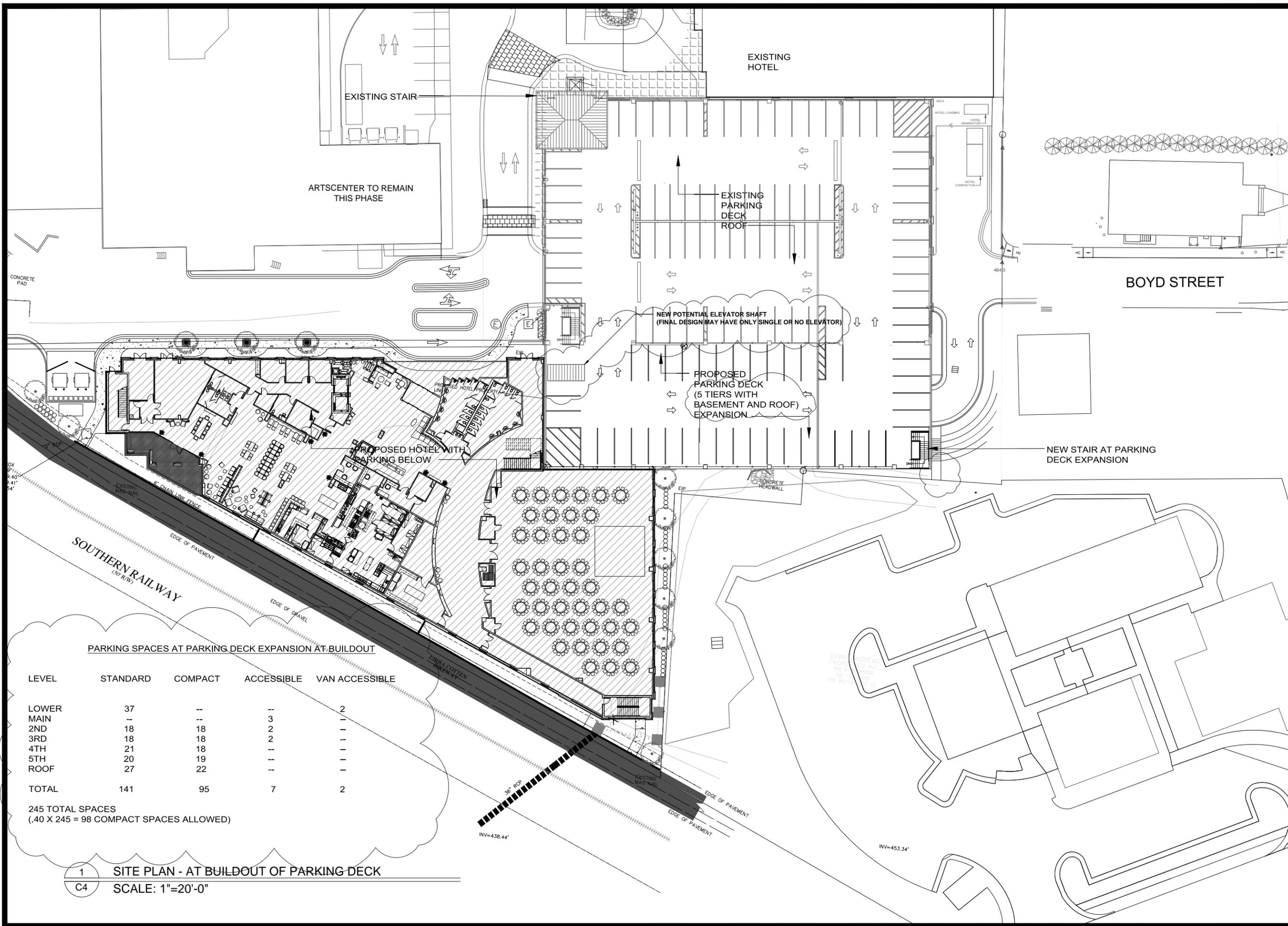
Job Number: 0412

Drawn	JCS/JSA
Checked	JSA
Base Drawing	10-19-2009
Submission Date	11-24-2009
SITE PLAN APPROVAL	5-8-2011
REVISION	7-22-2011
MINOR MODIFICATION	7-15-2015
REVISION	9-9-2015

Sheet Title:

**C4**

Sheet Number



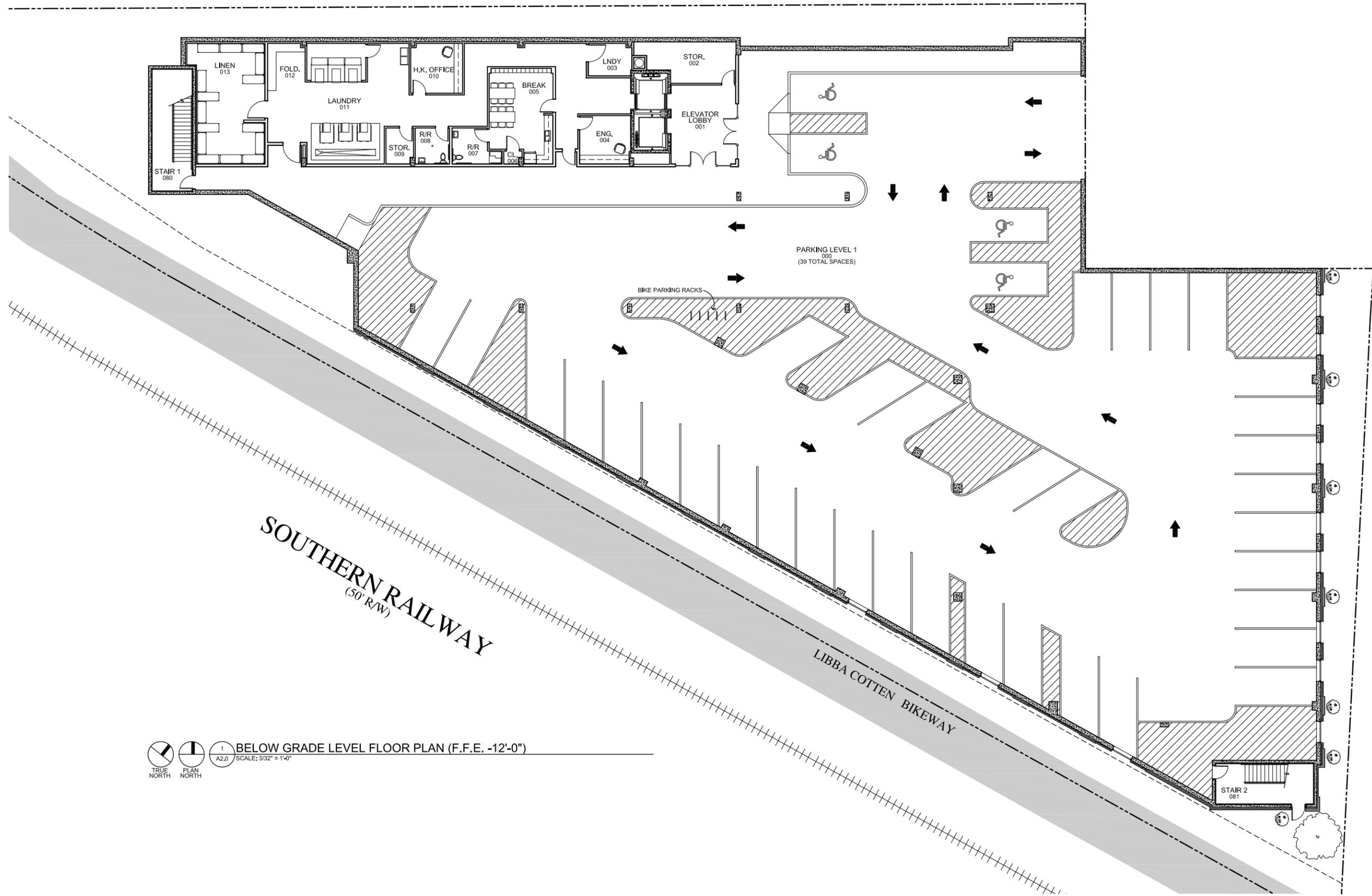
PARKING SPACES AT PARKING DECK EXPANSION AT BUILDOUT

LEVEL	STANDARD	COMPACT	ACCESSIBLE	VAN ACCESSIBLE
LOWER	37	--	--	2
MAIN	--	--	3	--
2ND	18	18	2	--
3RD	18	18	2	--
4TH	21	18	--	--
5TH	20	19	--	--
ROOF	27	22	--	--
<b>TOTAL</b>	<b>141</b>	<b>95</b>	<b>7</b>	<b>2</b>

245 TOTAL SPACES  
(.40 X 245 = 98 COMPACT SPACES ALLOWED)

1 SITE PLAN - AT BUILDOUT OF PARKING DECK  
C4 SCALE: 1"=20'-0"

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1 A2.0 SCALE: 3/32" = 1'-0"  
 TRUE NORTH PLAN NORTH  
**BELOW GRADE LEVEL FLOOR PLAN (F.F.E. -12'-0")**

CARRBORO, NC

PRELIMINARY SET

OWNER SET #0  
 BID SET #0  
 BUILDING DEPT #0  
 FIRE MARSHAL #0  
 HEALTH DEPT #0

ISSUE DATE: 02.12.16



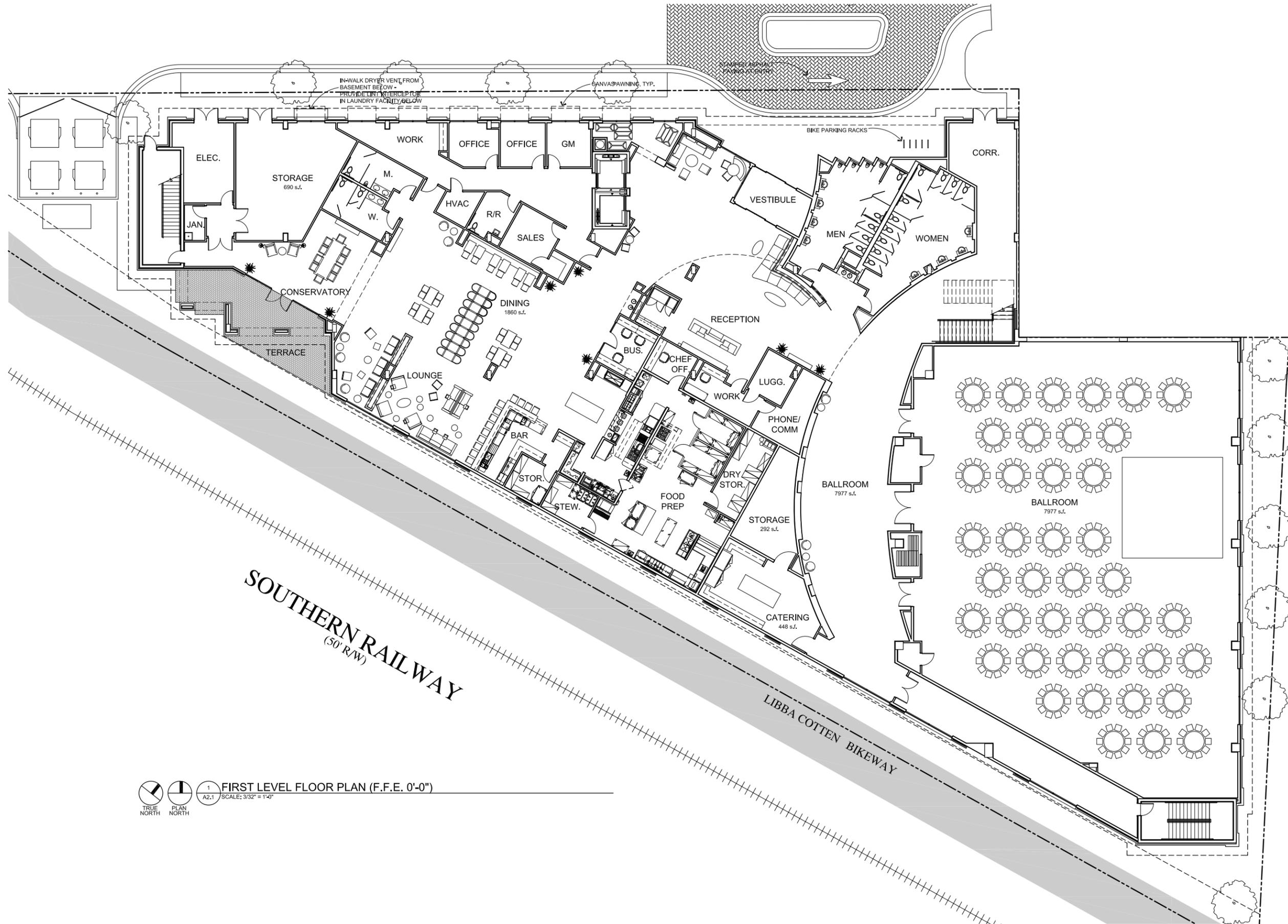
REVISION			DATE
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DRAWN BY CRA  
 CHECKED BY CRA  
 PROJECT DATE 06.12.15  
 PROJECT NUMBER 15-1742R

**BELOW GRADE LEVEL FLOOR PLAN**

**A2.0**

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**FIRST LEVEL FLOOR PLAN (F.F.E. 0'-0")**  
 SCALE: 3/32" = 1'-0"

**RBA GROUP**  
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 CHARLOTTE, NC 28203  
 TEL :: 704 . 344 . 9098

CARRBORO, NC

PRELIMINARY SET

OWNER SET #0  
 BID SET #0  
 BUILDING DEPT #0  
 FIRE MARSHAL #0  
 HEALTH DEPT #0

ISSUE DATE: 02.12.16



REVISION			DATE
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DRAWN BY CRA  
 CHECKED BY CRA  
 PROJECT DATE 06.12.15  
 PROJECT NUMBER 15-1742R

**FIRST LEVEL FLOOR PLAN**

A2.1

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**SECOND LEVEL FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"

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 TEL :: 704 . 344 . 9098

CARRBORO, NC

PRELIMINARY SET

OWNER SET #0  
 BID SET #0  
 BUILDING DEPT #0  
 FIRE MARSHAL #0  
 HEALTH DEPT #0

ISSUE DATE: 02.12.16



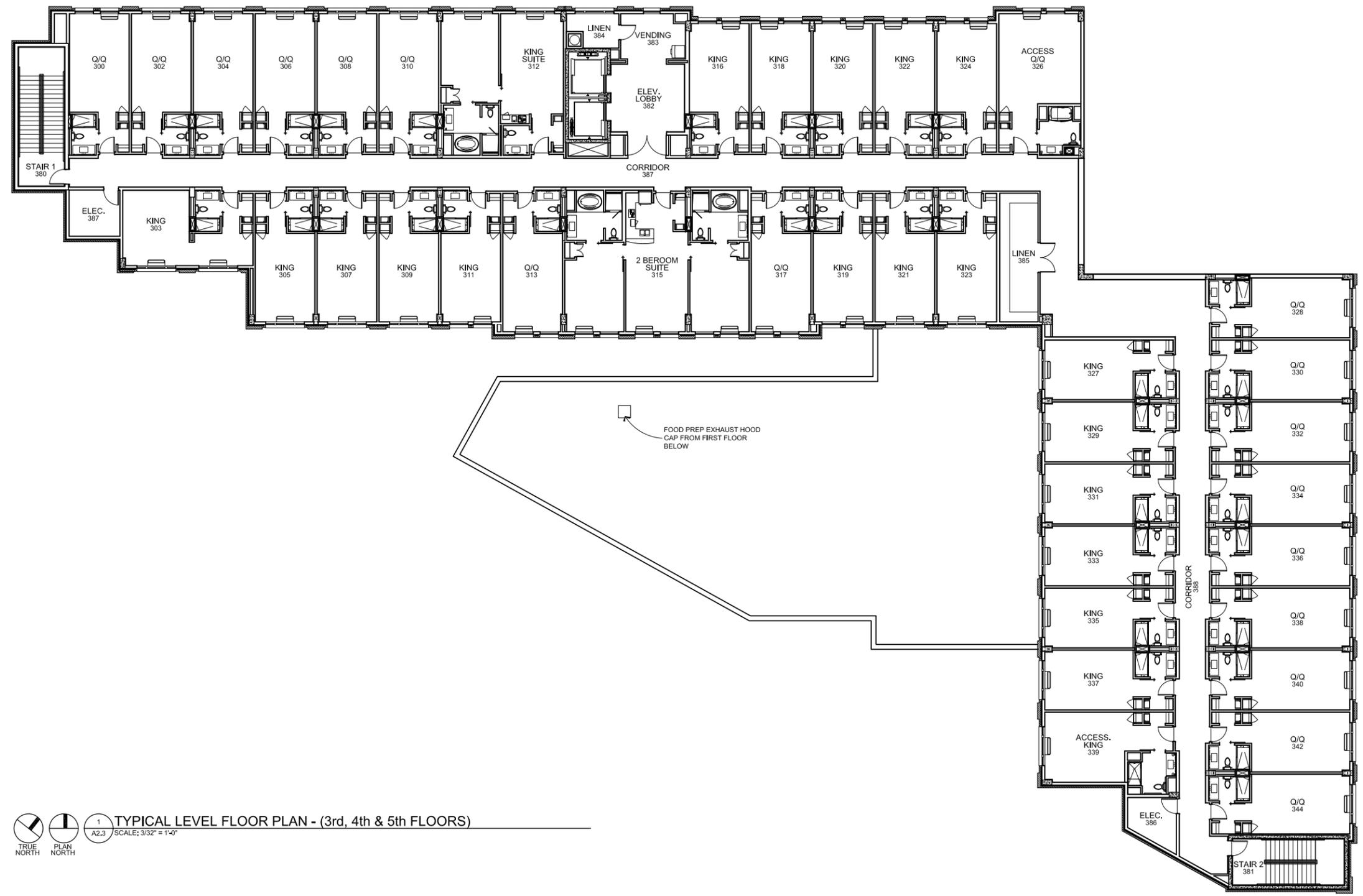
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DRAWN BY CRA  
 CHECKED BY CRA  
 PROJECT DATE 06.12.15  
 PROJECT NUMBER 15-1742R

**SECOND LEVEL FLOOR PLAN**

**A2.2**

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**TYPICAL LEVEL FLOOR PLAN - (3rd, 4th & 5th FLOORS)**  
 SCALE: 3/32" = 1'-0"

CARRBORO, NC

**PRELIMINARY SET**

- OWNER SET #0
- BID SET #0
- BUILDING DEPT #0
- FIRE MARSHAL #0
- HEALTH DEPT #0

ISSUE DATE: 02.12.16



REVISION			DATE
no.	date	comment	
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DRAWN BY: CRA  
 CHECKED BY: CRA  
 PROJECT DATE: 06.12.15  
 PROJECT NUMBER: 15-1742R

**TYPICAL LEVEL FLOOR PLAN**

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**2 NORTH ELEVATION**  
A3.0 SCALE: 3/32" = 1'-0"

**GLAZING NOTE:**  
ALL EXTERIOR GLAZING WILL MEET THE FOLLOWING CRITERIA:  
SOLAR HEAT GAIN COEFFICIENT = .250 OR BETTER  
U VALUE = .442 OR BETTER

ELEVATION MATERIAL KEY	
1	WIRE CUT, ENGINEER RUNNING BOND BRICK VENEER - IRONSPOT RED
2	EIFS - CHARCOAL
3	EIFS - WHITE
4	PRE-FINISHED, METAL AWNING
5	DARK BRONZE ALUMINUM WINDOW WITH INTEGRAL HVAC GRILL
6	UNFINISHED - ABUTTING PARKING DECK
7	BLUFF CAST STONE VENEER
8	EIFS BRICK TO MATCH WIRE CUT, ENGINEER RUNNING BOND BRICK VENEER - IRONSPOT RED
9	CANVAS AWNING

**EXTERIOR LIGHTING NOTE:**  
EXTERIOR WALL SCENCE LIGHTING SHOWN FOR DESIGN INTENT ONLY. ALL EXTERIOR LIGHTING WILL CONFORM TO THE LUO REQUIREMENT OF NO MORE THAN 0.2 FOOT CANDLES WILL SPILL ONTO ADJACENT RESIDENTIAL PROPERTY. LIGHTING ALONG BIKEWAY WILL MEET PENDING REQUIREMENTS AS SET BY THE TOWN OF CARRBORO. IF NOT ALLOWED, LIGHTS WILL BE REMOVED FROM PROJECT.



**1 WEST ELEVATION**  
A3.0 SCALE: 3/32" = 1'-0"

CARRBORO, NC

PRELIMINARY SET

OWNER SET #0  
BID SET #0  
BUILDING DEPT #0  
FIRE MARSHAL #0  
HEALTH DEPT #0

ISSUE DATE: 02.12.16



REVISION	DATE
no. date comment	
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3	
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7	

DRAWN BY CRA  
CHECKED BY CRA  
PROJECT DATE 06.12.15  
PROJECT NUMBER 15-1742R

**BUILDING ELEVATIONS**

**A3.0**

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**2 SOUTH ELEVATION**  
 A3.1 SCALE: 3/32" = 1'-0"

**GLAZING NOTE:**  
 ALL EXTERIOR GLAZING WILL MEET THE FOLLOWING CRITERIA:  
 SOLAR HEAT GAIN COEFFICIENT = .250 OR BETTER  
 U VALUE = .442 OR BETTER

ELEVATION MATERIAL KEY	
1	WIRE CUT, ENGINEER RUNNING BOND BRICK VENEER - IRONSPOT RED
2	EIFS - CHARCOAL
3	EIFS - WHITE
4	PRE-FINISHED, METAL AWNING
5	DARK BRONZE ALUMINUM WINDOW WITH INTEGRAL HVAC GRILL
6	UNFINISHED - ABUTTING PARKING DECK
7	BUFF CAST STONE VENEER
8	EIFS BRICK TO MATCH WIRE CUT, ENGINEER RUNNING BOND BRICK VENEER - IRONSPOT RED
9	CANVAS AWNING

**EXTERIOR LIGHTING NOTE:**  
 EXTERIOR WALL SCONCE LIGHTING SHOWN FOR DESIGN INTENT ONLY. ALL EXTERIOR LIGHTING WILL CONFORM TO THE LUO REQUIREMENT OF NO MORE THAN 0.2 FOOT CANDLES WILL SPILL ONTO ADJACENT RESIDENTIAL PROPERTY. LIGHTING ALONG BIKEWAY WILL MEET PENDING REQUIREMENTS AS SET BY THE TOWN OF CARRBORO. IF NOT ALLOWED, LIGHTS WILL BE REMOVED FROM PROJECT.



**1 EAST ELEVATION**  
 A3.1 SCALE: 3/32" = 1'-0"

CARRBORO, NC

PRELIMINARY SET

OWNER SET #0  
 BID SET #0  
 BUILDING DEPT #0  
 FIRE MARSHAL #0  
 HEALTH DEPT #0

ISSUE DATE: 02.12.16



REVISION			DATE
no.	date	comment	
1			
2			
3			
4			
5			
6			
7			

DRAWN BY CRA  
 CHECKED BY CRA  
 PROJECT DATE 06.12.15  
 PROJECT NUMBER 15-1742R

**BUILDING ELEVATIONS**



**JIM SPENCER ARCHITECTS**

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Project:

# 300 EAST MAIN

## PHASE B-1

CARRBORO, NORTH CAROLINA

DEVELOPER:  
Main Street Properties  
of Chapel Hill, LLC.  
P.O. Box 2152  
Chapel Hill, NC 27515



SUPPLEMENTAL SUBMITTAL DRAWINGS

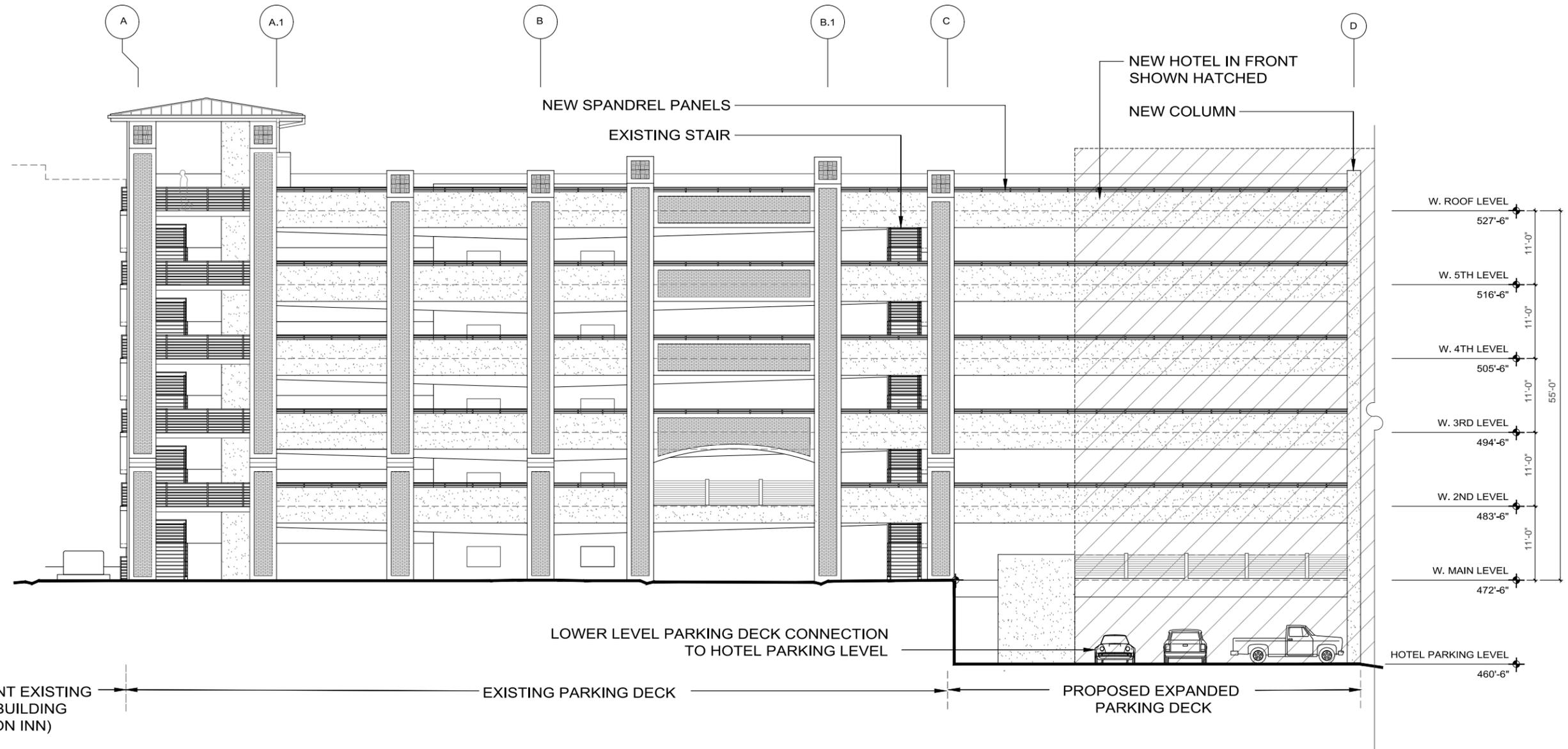
Job Number: 0412

Drawn	JCS/JSA
Checked	JSA
Base Drawing	10-19-2009
Submission Date	11-24-2009
SITEPLAN APPROVAL	5-8-2011
REVISION	7-22-2011
MINOR MODIFICATION	7-15-2015
REVISION	9-9-2015

Sheet Title:

# A1

Sheet Number



1 WEST ELEVATION -- PARKING DECK EXPANSION  
A1 SCALE: 1/8"=1'-0"



2 REAR VIEW FROM BIKE PATH  
A3.2 SCALE: N.T.S.



1 VIEW FROM BIKE PATH  
A3.2 SCALE: N.T.S.



4 VIEW FROM MAIN STREET  
A3.2 SCALE: N.T.S.



3 VIEW FROM ADJACENT APARTMENTS  
A3.2 SCALE: N.T.S.

CARRBORO, NC

PRELIMINARY SET

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 BUILDING DEPT #0  
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ELEVATION  
DETAIL

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2 REAR RENDERING  
A3.3



1 FRONT RENDERING  
A3.3

**RBA GROUP**

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CARRBORO, NC

PRELIMINARY SET

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**EXTERIOR RENDERINGS**

**A3.3**