

Plant Legend

See landscape planting plans for specific tree types and locations, as well as future shrub, groundcover, and lawn areas.

- Note:**
- Upon approval of the calculations and/or the locations for the
 - Buffers
 - Street Trees
 - Vehicle Accommodation Areas
 - The location and plant type for the proposed trees

The Developer will provide detailed planting plan information for review and approval. These Planting Plans will be designed to meet the Town of Carrboro Landscape Plan requirements.

LOT 1A and B - Shade Calculations

- Vehicle Accommodation area: (parking spaces, driveways, loading areas, sidewalks) 199,409 Sq. ft.
- Multiply by 20% x .20
- Total Area to be shaded (20%) 39,882 Sq. ft.
- Area shaded by existing trees to be retained in and around the vehicle accommodation area: - Sq. ft.
- Area shaded by required screening trees 2,832 Sq. ft.
- Areas shaded by required street trees 7,788 Sq. ft.
- Subtotal: 10,620
- (If line #7 is greater than line #3, then the shading requirement has been met. If not, go on to line #8)
- Total area remaining to be shaded 29,262 Sq. ft.
- Area to be shaded by evergreen trees (Of the shade area, 1/3 must be evergreen) 9,753 Sq. ft.
- Divide line #8 / 707
- Total number of shade trees required within the Vehicle accommodation area: **41.39** Interior Trees

Proposed Shade Quantities:

Deciduous Trees	SF	Tree Quantity	Total SF
Interior	707	19	13,433
Perimeter	354	16	5,664
Small Interior	314	6	1,884
Small Perimeter	157	19	2,983
Deciduous Sub-total			23,964
Evergreen Trees			
Interior	707	5	3,535
Perimeter	354	3	1,062
Small Interior	157	33	5,181
Small Perimeter	314	0	-
Evergreen Sub-total			9,778
Total Area Shaded Required Area			33,742
Total Large Trees		43	
Total Small Trees		58	

LOT 8 - Shade Calculations

- Vehicle Accommodation area: (parking spaces, driveways, loading areas, sidewalks) 16,874 Sq. ft.
- Multiply by 20% x .20
- Total Area to be shaded (20%) 3,375 Sq. ft.
- Area shaded by existing trees to be retained in and around the vehicle accommodation area: - Sq. ft.
- Area shaded by required screening trees - Sq. ft.
- Areas shaded by required street trees - Sq. ft.
- Subtotal: -
- (If line #7 is greater than line #3, then the shading requirement has been met. If not, go on to line #8)
- Total area remaining to be shaded 3,375 Sq. ft.
- Area to be shaded by evergreen trees (Of the shade area, 1/3 must be evergreen) 1,125
- Divide line #8 / 707
- Total number of shade trees required within the Vehicle accommodation area: **4.77** Interior Trees

Proposed Shade Quantities:

Deciduous Trees	SF	Tree Quantity	Total SF
Interior	707	1	707
Perimeter	354	0	-
Small Interior	314	1	314
Small Perimeter	157	4	628
Deciduous Sub-total			1,649
Evergreen Trees			
Interior	707	2	1,414
Perimeter	354	0	-
Small Interior	314	0	-
Small Perimeter	157	4	628
Evergreen Sub-total			2,042
Total Area Shaded Required Area			3,691
Total Large Trees		3	
Total Small Trees		9	

Street Tree Calculations

Street Name	Street Frontage (LF)	Required # of Trees 50' off each side of the Road Centerline	Proposed # of Trees 50' off each side of the Road Centerline
Merchants Way	2192	73	67*
Trade Drive	267	9	10
Post Office Drive	629	21	21

* - Does not include plantings in the "Supplemental Buffer"

133 Keybridge Drive
Suite E
Morrisville, NC 27560
PHONE: 919-400-1624
FAX: 919-400-1624
EMAIL: mike.mullis@mulldesign.com
WEB: mulldesigngroup.com

Consultant:

MULLIS DESIGN GROUP
LANDSCAPE ARCHITECTS

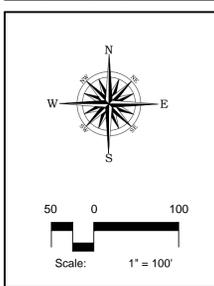
Seal:

Project Name:
Lloyd Farm - AIS & CUP

Address:
HWY 54
Carrboro,
North Carolina

Revision Schedule Per Sheet

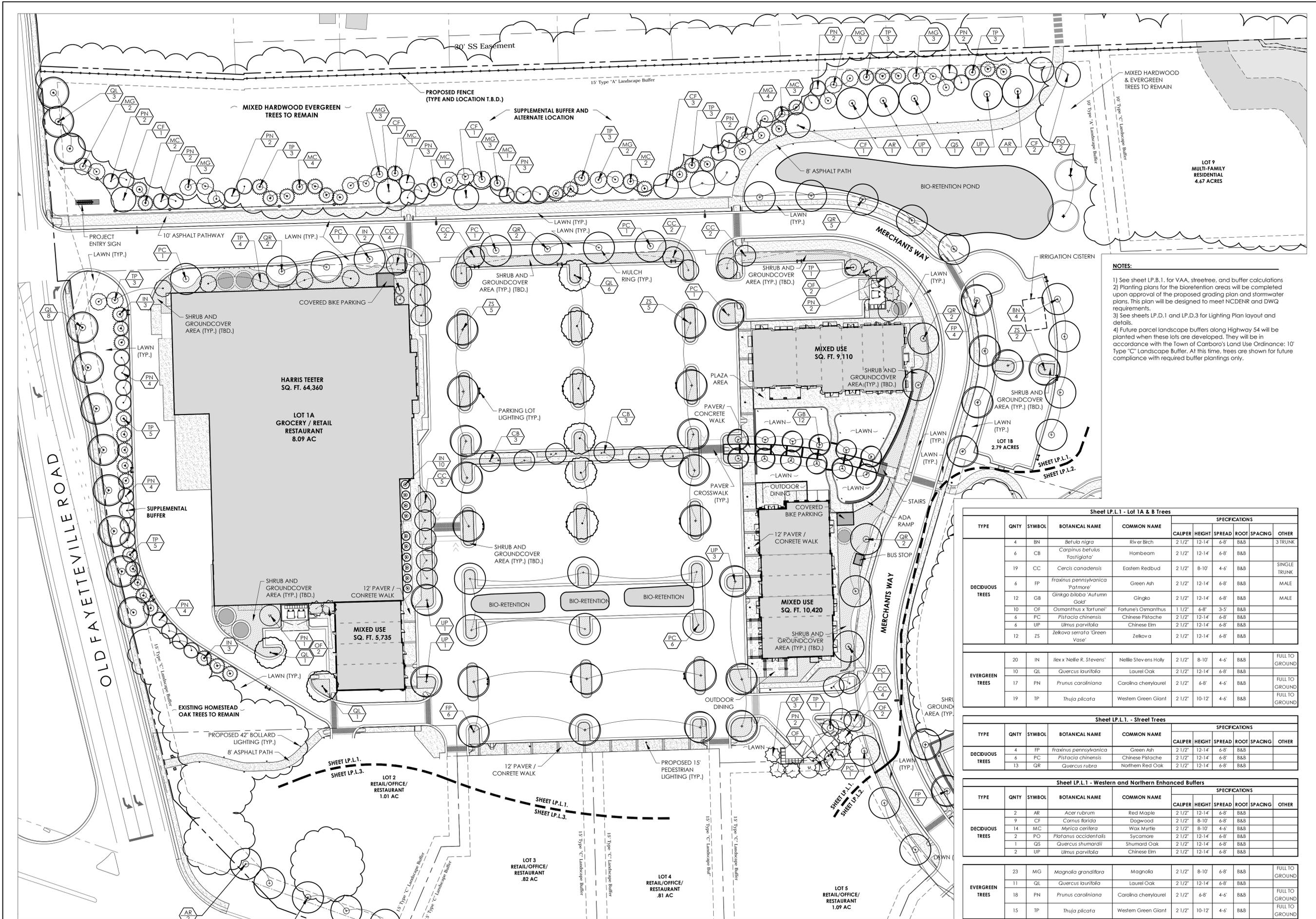
Rev	Date	By	Description
1	10-7-2013	MDG	CUP 1st review
2	3-7-2014	MDG	CUP 2nd review
3	7-25-2014	MDG	CLIENT REVIEW
4	8-11-2014	MDG	CUP 3rd review



Project #: 000112
DATE: 6-17-2013
Design By: RMM
Checked by: MDG

Sheet Title:
Landscape Buffer, Street Tree, & VAA Plan

Sheet Number:
LP.B.1



NOTES:

- 1) See sheet LP.B.1. for VAA, streettree, and buffer calculations
- 2) Planting plans for the bio-retention areas will be completed upon approval of the proposed grading plan and stormwater plans. This plan will be designed to meet NCDENR and DWQ requirements.
- 3) See sheets LP.D.1 and LP.D.3 for Lighting Plan layout and details.
- 4) Future parcel landscape buffers along Highway 54 will be planted when these lots are developed. They will be in accordance with the Town of Carboro's Land Use Ordinance: 10' Type "C" Landscape Buffer. At this time, trees are shown for future compliance with required buffer plantings only.

Sheet LP.L.1 - Lot 1A & B Trees

TYPE	QNTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS						
					CALIPER	HEIGHT	SPREAD	ROOT	SPACING	OTHER	
DECIDUOUS TREES	4	BN	<i>Betula nigra</i>	River Birch	2 1/2"	12-14'	6-8'	B&B		3 TRUNK	
	6	CB	<i>Carpinus betulus Fastigiata</i>	Hombeam	2 1/2"	12-14'	6-8'	B&B			
	19	CC	<i>Cercis canadensis</i>	Eastern Redbud	2 1/2"	8-10'	4-6'	B&B		SINGLE TRUNK	
	6	FP	<i>Fraxinus pennsylvanica 'Palmore'</i>	Green Ash	2 1/2"	12-14'	6-8'	B&B		MALE	
	12	GB	<i>Ginkgo biloba 'Autumn Gold'</i>	Ginkgo	2 1/2"	12-14'	6-8'	B&B		MALE	
	10	OF	<i>Osmanthus x 'fortunei'</i>	Fortune's Osmanthus	1 1/2"	6-8'	3-5'	B&B			
	6	PC	<i>Pistacia chinensis</i>	Chinese Pistache	2 1/2"	12-14'	6-8'	B&B			
	6	UP	<i>Ulmus parvifolia</i>	Chinese Elm	2 1/2"	12-14'	6-8'	B&B			
	12	ZS	<i>Zelkova serrata 'Green Vase'</i>	Zelkova	2 1/2"	12-14'	6-8'	B&B			
	EVERGREEN TREES	20	IN	<i>Ilex x 'Nellie R. Stevens'</i>	Nellie Stevens Holly	2 1/2"	8-10'	4-6'	B&B		FULL TO GROUND
		10	QL	<i>Quercus laurifolia</i>	Laurel Oak	2 1/2"	12-14'	6-8'	B&B		FULL TO GROUND
		17	PN	<i>Prunus caroliniana</i>	Carolina cherylaurel	2 1/2"	6-8'	4-6'	B&B		FULL TO GROUND
19		TP	<i>Thuja plicata</i>	Western Green Giant	2 1/2"	10-12'	4-6'	B&B		FULL TO GROUND	

Sheet LP.L.1 - Street Trees

TYPE	QNTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS					
					CALIPER	HEIGHT	SPREAD	ROOT	SPACING	OTHER
DECIDUOUS TREES	4	FP	<i>Fraxinus pennsylvanica</i>	Green Ash	2 1/2"	12-14'	6-8'	B&B		
	6	PC	<i>Pistacia chinensis</i>	Chinese Pistache	2 1/2"	12-14'	6-8'	B&B		
	13	QR	<i>Quercus rubra</i>	Northern Red Oak	2 1/2"	12-14'	6-8'	B&B		

Sheet LP.L.1 - Western and Northern Enhanced Buffers

TYPE	QNTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS					
					CALIPER	HEIGHT	SPREAD	ROOT	SPACING	OTHER
DECIDUOUS TREES	2	AR	<i>Acer rubrum</i>	Red Maple	2 1/2"	12-14'	6-8'	B&B		
	9	CF	<i>Cornus florida</i>	Dogwood	2 1/2"	8-10'	6-8'	B&B		
	14	MC	<i>Myrica cerifera</i>	Wax Myrtle	2 1/2"	8-10'	4-6'	B&B		
	2	PO	<i>Platanus occidentalis</i>	Sycamore	2 1/2"	12-14'	6-8'	B&B		
	1	QS	<i>Quercus shumardii</i>	Shumard Oak	2 1/2"	12-14'	6-8'	B&B		
	2	UP	<i>Ulmus parvifolia</i>	Chinese Elm	2 1/2"	12-14'	6-8'	B&B		

EVERGREEN TREES	23	MG	<i>Magnolia grandiflora</i>	Magnolia	2 1/2"	8-10'	6-8'	B&B		FULL TO GROUND
	11	QL	<i>Quercus laurifolia</i>	Laurel Oak	2 1/2"	12-14'	6-8'	B&B		FULL TO GROUND
	18	PN	<i>Prunus caroliniana</i>	Carolina cherylaurel	2 1/2"	6-8'	4-6'	B&B		FULL TO GROUND
	15	TP	<i>Thuja plicata</i>	Western Green Giant	2 1/2"	10-12'	4-6'	B&B		FULL TO GROUND

Consultant:
MDG
 MULLIS DESIGN GROUP
 LANDSCAPE ARCHITECTS

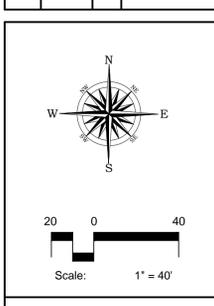
133 Keybridge Drive
 Suite E
 Morrisville, NC 27560
 PHONE: 941-400-1624
 EMAIL: mike.mullis@mullisdesign.com
 WEB: mullisdesigngroup.com

Project Name:
Lloyd Farm - AIS & CUP

Address:
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 North Carolina

Revision Schedule Per Sheet

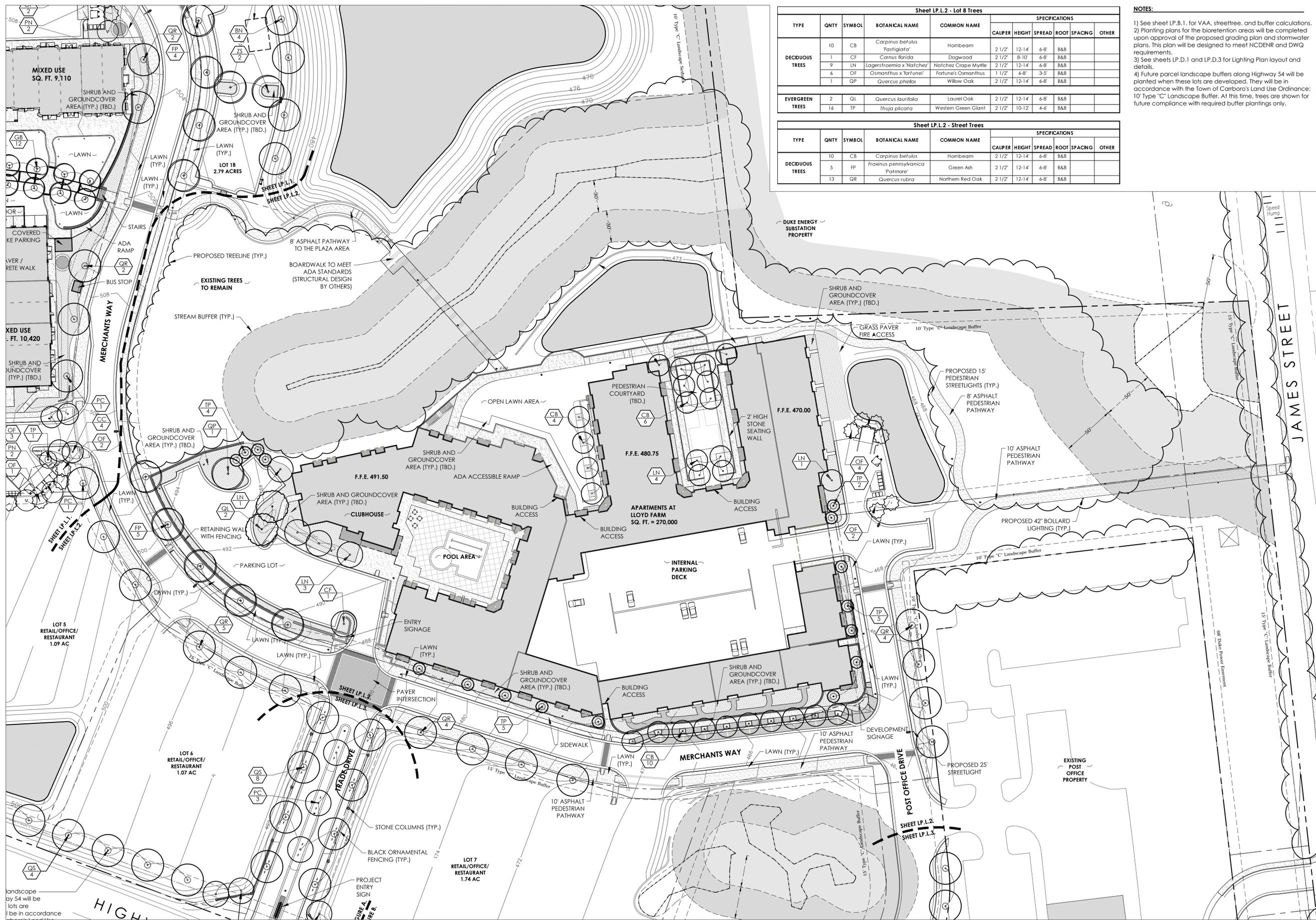
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Project #: 000112
 DATE: 6-17-2013
 Design By: RMM
 Checked by: MDG

Sheet Title:
**Landscape Plan
 Lot 1A & B**

Sheet Number:
LP.L.1.



Sheet LP.L.2 - Lot 8 Trees

TYPE	QNTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS					
					CALIPER	HEIGHT	SPREAD	ROOT	SPACING	OTHER
DECIDUOUS TREES	10	CB	<i>Carpinus betulus 'Fastigiata'</i>	Hombeam	2 1/2"	12-14'	6-8'	B&B		
	1	CF	<i>Cornus florida</i>	Dogwood	2 1/2"	8-10'	6-8'	B&B		
	9	LN	<i>Lagerstroemia x 'Natchez'</i>	Natchez Crape Myrtle	2 1/2"	12-14'	6-8'	B&B		
	6	OF	<i>Osmanthus x 'Fortunei'</i>	Fortune's Osmanthus	1 1/2"	6-8'	3-5'	B&B		
EVERGREEN TREES	1	QP	<i>Quercus phellos</i>	Willow Oak	2 1/2"	12-14'	6-8'	B&B		
	2	QL	<i>Quercus laurifolia</i>	Laurel Oak	2 1/2"	12-14'	6-8'	B&B		
	16	TP	<i>Thuja plicata</i>	Western Green Giant	2 1/2"	10-12'	4-6'	B&B		

Sheet LP.L.2 - Street Trees

TYPE	QNTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS					
					CALIPER	HEIGHT	SPREAD	ROOT	SPACING	OTHER
DECIDUOUS TREES	10	CB	<i>Carpinus betulus</i>	Hombeam	2 1/2"	12-14'	6-8'	B&B		
	5	FP	<i>Fraxinus pennsylvanica 'Palmore'</i>	Green Ash	2 1/2"	12-14'	6-8'	B&B		
	13	QR	<i>Quercus rubra</i>	Northern Red Oak	2 1/2"	12-14'	6-8'	B&B		

NOTES:

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- Planting plans for the bioretention areas will be completed upon approval of the proposed grading plan and stormwater plans. This plan will be designed to meet NCDENR and DWQ requirements.
- See sheets LP.D.1 and LP.D.3 for Lighting Plan layout and details.
- Future parcel landscape buffers along Highway 54 will be planted when these lots are developed. They will be in accordance with the Town of Carrboro's Land Use Ordinance: 10' Type "C" Landscape Buffer. At this time, trees are shown for future compliance with required buffer plantings only.

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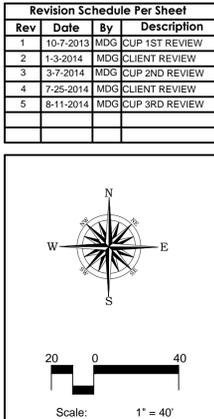
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Project #: 000112
 DATE: 6-17-2013
 Design By: RMM
 Checked by: MDG

Sheet Title:
**Landscape Plan
 Lot 8**

Sheet Number:
LP.L.2.

SUMMARY INFORMATION

Parcel Acreage: 40.07 AC / 1,745,652 SF
 Proposed Lots: 9
 Floor Area Existing: 1182 SF & 2450 SF
 (to be removed)
 Existing Use - 1.110
 Parking- As shown on Sheet SP:
 Required Office / Retail / Restaurant: 716 Car Spaces
 83 Bicycle Spaces (41 Sheltered)
 Proposed Office / Retail / Restaurant: 601 Car Spaces
 (19 ADA Spaces)
 83 Bicycle Spaces (41 Sheltered)
 Required Residential: 480 Car Spaces
 463 Bicycle Spaces (232 Sheltered)
 Proposed Residential: 475 Car Spaces
 (10 ADA Spaces- Lot 8)
 465 Bicycle Spaces (235 Sheltered)
 Parking "Option" if highest uses on all speculative lots:
 Required Office / Retail / Restaurant: 808 Car Spaces
 83 Bicycle Spaces (41 Sheltered)
 Proposed Office / Retail / Restaurant: 601 Car Spaces
 (19 ADA Spaces)
 83 Bicycle Spaces (41 Sheltered)
 Required Residential: 480 Car Spaces
 463 Bicycle Spaces (232 Sheltered)
 Proposed Residential: 475 Car Spaces
 (10 ADA Spaces- Lot 8)
 465 Bicycle Spaces (235 Sheltered)

Building Setbacks By Lot
 Lot 1a/b- Building Setback - Street 10' / Interior 5'
 Lot 2- Building Setback - Street 0' / Interior 5'
 Lot 3- Building Setback - Street 0' / Interior 5'
 Lot 4- Building Setback - Street 0' / Interior 5'
 Lot 5- Building Setback - Street 10' / Interior 5'
 Lot 6- Building Setback - Street 10' / Interior 5'
 Lot 7- Building Setback - Street 10' / Interior 5'
 Lot 8- Building Setback - Street 5' / Interior 5'
 Lot 9- Building Setback - Street 10' / Interior 0'

Note: Lot boundary setback requirements apply where tract abuts land that is not part of the subdivision.

Lot 8 - Apartment Recreation Points
 Points Required: 2,036 Points
 1 bdrm - 209 x 5.94 = 1,241 points
 2 bdrm - 84 x 9.47 = 795 points
 Points Provided: 3,050 Points
 Swimming Pool 1656 sf = 766 pts
 Pool Deck 3814 sf = 76 pts
 Clubhouse 4000 sf = 2032 pts
 Hiking Trail 8128 sf = 130 pts
 Grassed Play Field 4200 sf = 46 pts

Lot 9 - Townhome Recreation Points
 Points Required: 177 Points
 3 bdrm - 15 x 11.81 = 177 points
 Points Provided: 181 Points
 Hiking Trail 1800 sf = 28 pts, Gazebo 225 sf = 73 pts
 Play Equipment (Tot-Lot) 750 sf = 80 pts

Parking Breakdown by Lot as show on sheet SP

Lot 1a & b Parking Proposed - 406 Car / 51 Bike
 Lot 2 Parking Proposed - 25 Car / 5 Bike
 Lot 3 Parking Proposed - 23 Car / 5 Bike
 Lot 4 Parking Proposed - 30 Car / 5 Bike
 Lot 5 Parking Proposed - 36 Car / 5 Bike
 Lot 6 Parking Proposed - 21 Car / 5 Bike
 Lot 7 Parking Proposed - 60 Car / 7 Bike
 Lot 8 Parking Proposed - 437 Car (400 in deck) / 440 Bike (220 Sheltered)
 Lot 9 Parking Proposed - 38 Car / 25 Bike (15 Sheltered in Garage)

Open Space Required - Lot 8 & 9 - 40% Min. of Lot Acreage
 Open Space Proposed- Lot 8 - 3.4 acres / 40% & Lot 9 - 3.1 acres / 66%
 Open Space-Project Wide - 12.0 AC / 30% of 40.07 AC
 Impervious Surface: 977,565 SF / 56% of total lot area
 Proposed Building Height: B-4-CU Non-Residential Max. 50',
 B-4-CU Residential 65' (requested), R-20 Max. 35', R-10 Max. 35'
 Pin Number: 9778-19-6618 / 9779-10-7351 / 9778-09-7922 & 9779-20-0449
 Property Address (existing): 700 & 706 Old Fayetteville Road
 Zoning District: Existing - B-4=16.62 AC, R-10=22.52 AC & R-20=0.94 AC
 Proposed - B-4-CU=35.40 AC, R-10=3.73 AC & R-20=0.94 AC

PERMISSIBLE USES

Existing Use Categories by Zoning District:

B-4 Portion - 14.120
 R-10 Portion - 1.110, 14.120
 R-20 Portion - Vacant

Proposed Use Categories by Zoning District:

B-4-CU Portion - All Uses Permissible in Zoning District as of the project approval date except for uses- 6.130, 14.400, 15.200, 15.500, 15.700, 21.100 and 24.000.
 Multi-Family Residential Apartments (requested)
 R-10 Portion - All Uses Permissible in Zoning District as of the project approval date.
 R-20 Portion - All Uses Permissible in Zoning District as of the project approval date.

Any Land Use Categories newly created or added to the B-4 general zoning district after the date on which this project is approved shall be considered permissible in this B-4 Conditional Use zoning district as well, subject to being approved through a permit modification application process in accordance with the associated Land Use Ordinance provisions in effect at that time.

Lloyd Farm

CARRBORO, NORTH CAROLINA

AIS / CUP / Rezoning

Developer:
 Carrboro Retail, LLC
 c/o Argus Development Group, LLC
 2908 Oak Lake Blvd., Ste. 203
 Charlotte, NC 28208
 Phone: 704-376-9848

DEVELOPMENT PROGRAM

Lot Number	Use Category	Size	Proposed Use	Floor Area	
Lot 1 - Retail / a & b	Restaurant	2,110 / 2,140	10.90 AC	Grocery Store Grocery Store Retail Shops / Restaurant	60,292 SF 4,068 SF 25,265 SF
Lot 2 - Retail / Office / Restaurant		2,120 / 3,100 / 8,200	1.00 AC	TBD when sold	7,800 SF
Lot 3 - Retail / Office / Restaurant w/ Outdoor Seating		2,120 / 3,100 / 8,200	.82 AC	TBD when sold	4,800 SF
Lot 4 - Retail / Office / Restaurant w/ Outdoor Seating		2,120 / 3,100 / 8,200	.81 AC	TBD when sold	5,000 SF
Lot 5 - Retail / Office / Restaurant		2,120 / 3,100 / 3,230 / 8,200	1.10 AC	TBD when sold	3,800 SF
Lot 6 - Retail / Office / Restaurant		2,120 / 3,100 / 8,200 / 8,400	1.07 AC	TBD when sold	4,200 SF
Lot 7 - Retail / Office / Restaurant		2,120 / 3,100 / 8,200	1.75 AC	TBD when sold	14,550 SF
Subtotal				129,775 SF	
Lot 8 - Multi-Family Apartment (4&5 story)		1,331	8.64 AC	84 @ 2 bedroom 209 @ 1 bedroom / Studio	270,000 SF 293 Units
Lot 9 - Multi-Family Townhomes (2 story)		1,320	4.67 AC	15 @ 3 bedroom	42,000 SF 15 Units
Subtotal				312,000 SF	
Total				441,775 SF	

Notes:

- Although Lots 2-7 are in Phase 2-3 they will be part of the overall grading, stormwater and erosion control process. The parcels will be graded and established as For Sale lots. The uses on these lots are speculative and could be developed instead with other permissible uses in the B-4 zoning district. Lot 9 will remain undisturbed until sold for development. The use indicated on Lot 9 above is also speculative and could be developed instead with other permissible uses in the R-10 zoning district.
- The applicant shall provide to the Zoning division, prior to the recordation of the final plat for the project or before the release of a bond if some features are not yet in place at the time of the recording of the final plat, mylar and digital as-builts for the stormwater features of the project. Digital as-builts shall be in DXF format and shall include a base map of the whole project and all separate plan sheets. As-built DXF files shall include all layers or tables containing storm drainage features. Storm drainage features shall be clearly delineated in the data table. The data will be tied to horizontal controls.
- Add note to final plat: No sheds, fences or building structures are allowed within a storm drainage easement inclusive of modification or alteration of the drainage system or easement is permitted without first receiving approval from the Town of Carrboro Zoning Division.
- Add note to final plat: Reference Land Use Ordinance Section 15-220(e) requiring notes on final plat with reference to private streets.
- Developer / owner is required to schedule and coordinate an on-site Pre-Construction Meeting prior to site disturbance with representatives of all approving applicable agencies.
- Developer / owner / contractor is required to provide a stone construction entrance in accordance with Orange County Erosion Control Office to minimize depositing mud, stone or other construction related materials upon public roadway surfaces. Any materials deposited upon the roadway surface shall be removed promptly by either manual, mechanical and/or by street washing methods.
- Developer / Owner / contractor shall provide, install and maintain Work Zone signage and traffic control devices consistent with the North Carolina Department of Transportation (NCDOT) and Manual on Uniform Traffic Control Devices (MUTCD) for all encroachments or work within adjoining public right-of-ways. All Construction Access points for Public roadway connections shall be secured by barricades or appropriate fencing when the work site is unattended to minimize unauthorized access onto the Project Site.
- All construction vehicles, equipment and related materials cannot be placed, stored and/or be kept within any portion of the Public Right of Way at any time. All onsite materials shall be secured and confined to the lot under construction.
- The Applicable Code for this building is the 2012 North Carolina Fire Code (NCF) or The International Fire Code (IFC) with North Carolina Amendments.
- The amount of offset payment for nitrogen reduction will be determined and calculations submitted during the Construction Plan review process. Payment will be made to NCEEP or a third party nutrient offset provider and paid prior to onset of construction.

SHEET INDEX

Sheet	Description
CV1	COVER SHEET / AREA MAP
AR1	AERIAL PHOTOGRAPH
EC1	EXISTING CONDITIONS
MP1	MASTER PLAN / PHASING (PRELIMINARY PLAT)
SP	OVERALL SITE PLAN
SP1 - 4	SITE PLAN
8-SP	LOT 8 - SITE PLAN
C0.1	SITE STANDARDS, ABBREVIATIONS & SYMBOLS
C1.1A - D	EXISTING CONDITIONS / DEMOLITION PLAN
C3.1A - D	GRADING PLAN
C3.2A - D	STORM DRAINAGE PLAN
C3.2E - H	STORM TYPICAL BMP DETAILS
C3.3A - D	EROSION CONTROL PLAN- INITIAL GRADING PHASE
C3.4A - D	EROSION CONTROL PLAN- FINAL GRADING PHASE
C4.1A - D	UTILITY PLAN
C4.2A - D	EASEMENT PLAN
C7.1 - 7.12	CIVIL / SITE DETAILS
LP.S.1	SIGNAGE LAYOUT PLAN
LP.S.2	SIGNAGE CALCULATIONS
LP.A.1	TREE REMOVAL PLAN
LP.A.2	TREE PROTECTION PLAN
LP.C.1	LIGHTING LAYOUT PLAN
WLS9172E	LIGHTING PLAN PHOTOMETRICS
LP.D.3	LIGHTING DETAILS
LP.B.1	LANDSCAPE BUFFER, STREET TREE & VAA PLAN
LP.L.1	LANDSCAPE PLAN LOT 1A & B
LP.L.2	LANDSCAPE PLAN LOT 8
LP.L.3	STREET TREE, BUFFER LANDSCAPE PLAN
A5.0 & A5.1	BUILDING ELEVATIONS - APARTMENTS LOT 8
X - X	BUILDING ELEVATIONS - RETAIL LOT 1A & B



BBM Associates, Inc.
 1011 Schaumb Drive, Suite 102
 Raleigh, NC 27606
 (919) 833-7336 Fax (919) 833-7337



Mullis Design Group
 LANDSCAPE ARCHITECTS
 133 Keybridge Drive, Ste. E
 Morrisville, NC 27560
 (941) 400-1624



THE DESIGN RESPONSE
 214 E. Chatham Street
 P.O. Box 3585
 Cary, NC 27519-3585
 (919) 469-2080

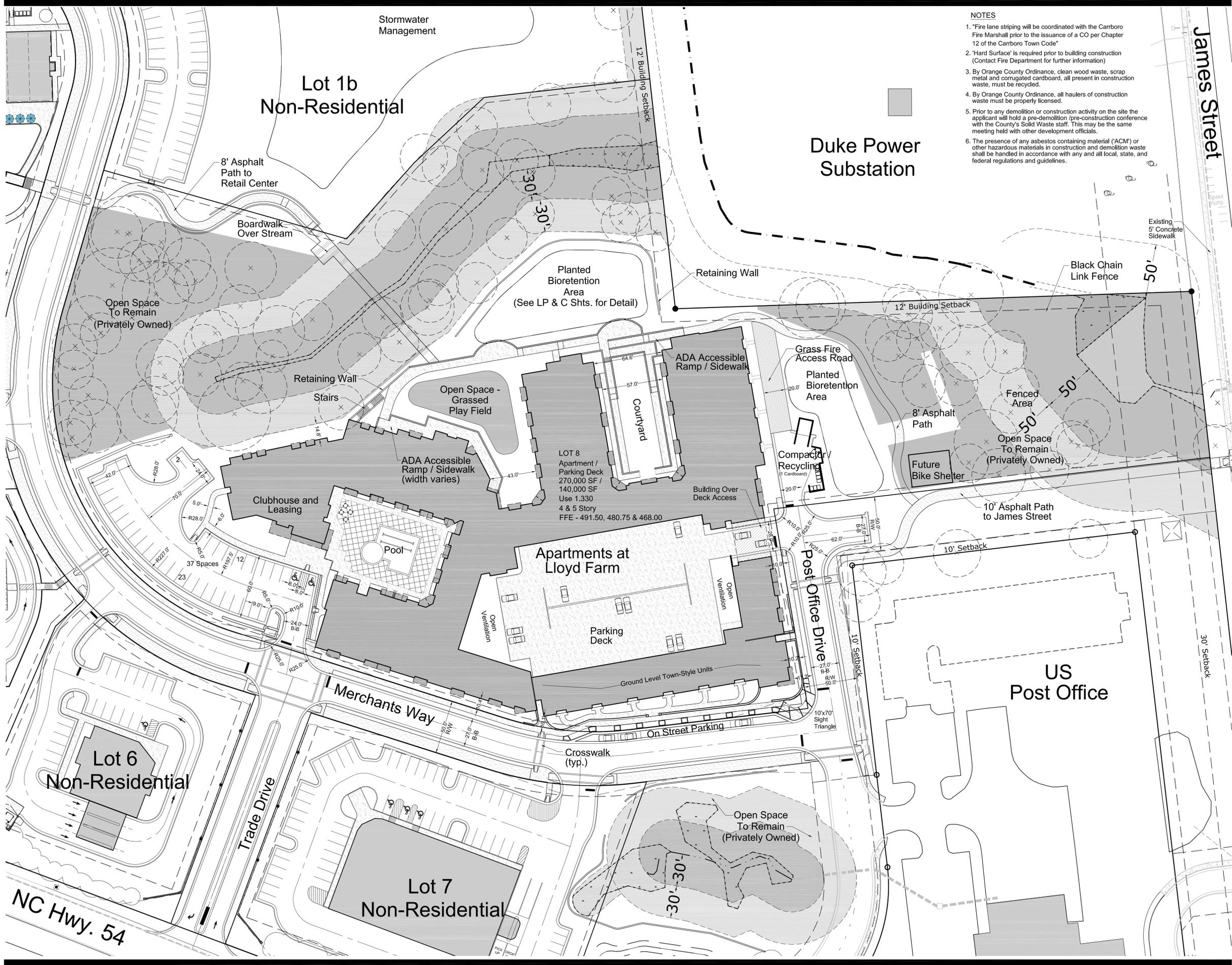
Lloyd Farm

Carrboro, North Carolina

AIS / CUP / Rezoning

Parcel ID #'s: 9778-19-6618 / 9779-10-7351 /
 9778-09-7922 / 9779-20-0449

8-11-14 CUP 3rd Review
 3-7-14 CUP 2nd Review
 Job No: 058-001 Date: 6-17-13 Rev.: 10-7-13 CUP 1st Review



- NOTES**
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Lloyd Farm

Carrboro, North Carolina
AIS / CUP / Rezoning

LOT 8 - Site Plan

SITE DATA

LOT 8 - Residential
Use Classification: Multi-Family Apartments - 1.331
Existing Zoning: B-4
Proposed Zoning: B-4-CU (Amended to allow residential)
Lot Acreage: 8.64 AC / 376,506 SF
Building Height: 4 & 5 Story / 65' Max. Height (Measured from mean elev. at finished grade)
Parking: Deck - 400 spaces
Parking: Surface - 37 spaces
Parking: Bicycle - 440 spaces (Phased)
Dwelling Units: 84 @ 2 bedroom
209 @ 1 bedroom / Studio
Total Units: 293 DU
Residential Floor Area: 270,000± SF
Garage Floor Area: 120,000± SF
Open Space - 3.4 Acres / 40% (Privately Owned)
Recreation Points Required: 2,045 SF
Recreation Points Provided: 3,050 SF (Swimming Pool / Deck, Clubhouse, Play Field, Hiking / Biking Trails & Boardwalk)

Open Space to meet 40% preservation requirement

ENGINEER
BBM Associates, Inc.
1011 Schaub Dr., Ste. 102
Raleigh, NC 27606

ARCHITECT
AXIOM Architecture
333 W.Trade St., Ste. 200
Charlotte, NC 28202

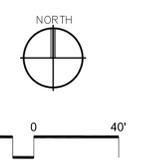
LANDSCAPE ARCHITECT
Mullis Design Group
133 Keybridge Dr., Ste. E
Morrisville, NC 27560

DEVELOPER:
EYC Companies
36 Center St., Ste. 203
Folly Beach, SC 29439

Lloyd Farm - AIS / CUP / Rezoning
Carrboro, North Carolina
LOT 8 - Site Plan



THE DESIGN RESPONSE
214 E. Chatham Street
P.O. Box 3585
Cary, NC 27519-3585
(919) 469-2080



8-11-14	CUP 3rd Review	DATE:	6-17-13
3-7-14	CUP 2nd Review	SCALE:	1"=40'
10-7-13	CUP 1st Review	DRAWN BY:	EJK
DATE:	REVISION:	JOB NO.:	058-001
		SHEET NO.:	8-SP
		OF SHEETS:	

Lloyd Farm

Carrboro, North Carolina
AIS / CUP / Rezoning

Site Plan

SITE DATA

Parcel ID #'s: 9778-19-6618 / 9779-10-7351 /
9778-09-7922 / 9779-20-0449
Existing Zoning: B-4, R-10 & R-20
Acreage: 40.07 AC / 1,745,652 SF

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- The grocery store cardboard is to be bundled and recycled separately by the store owner/operator.

DEVELOPER:

Carrboro Retail, LLC
c/o Argus Development Group
2908 Oak Lake Blvd. Ste 203
Charlotte, NC 28208
(704) 376-9848

Lloyd Farm - AIS / CUP / Rezoning
Carrboro, North Carolina

Site Plan



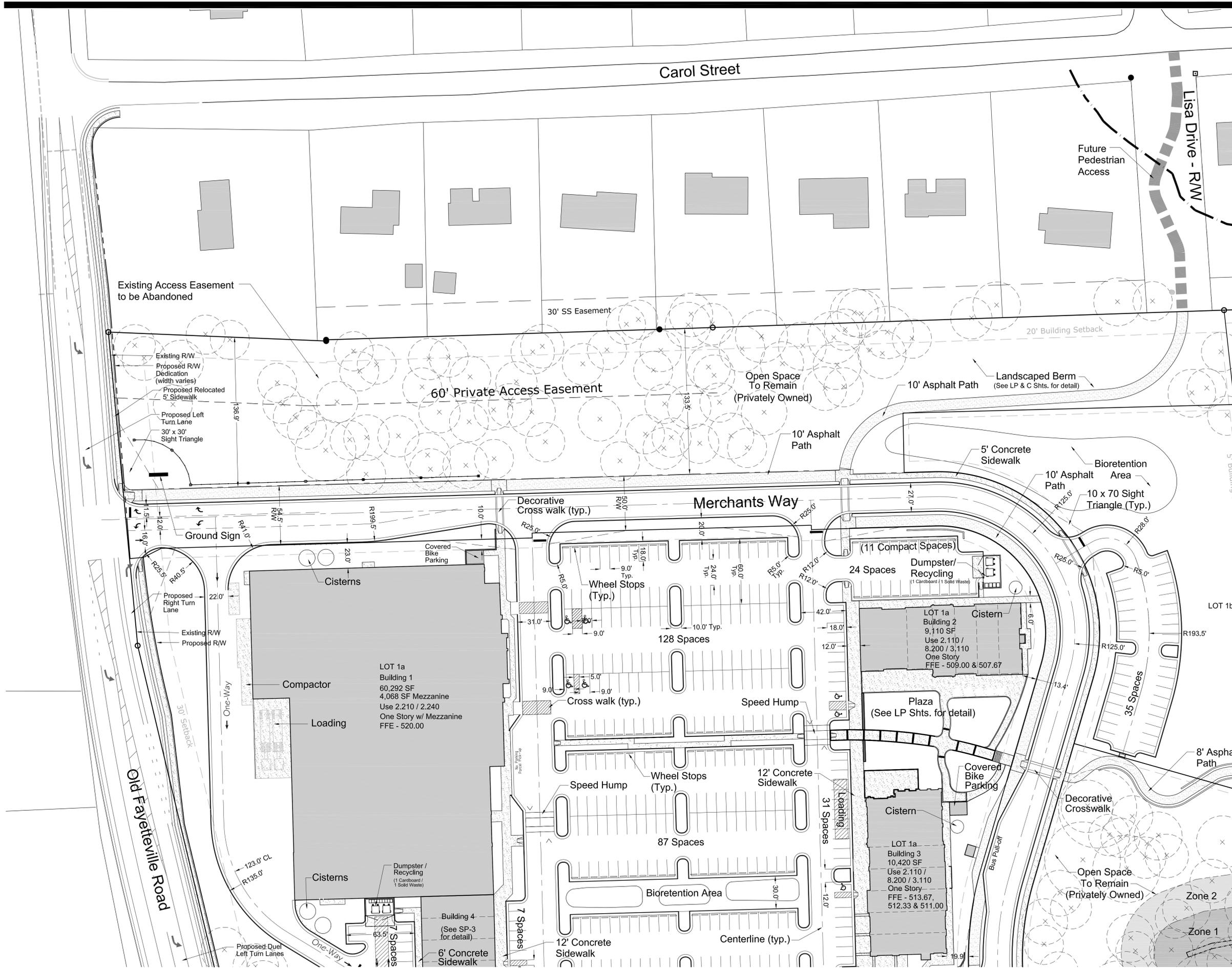
THE DESIGN RESPONSE

214 E. Chatham Street
P.O. Box 3585
Cary, NC 27519-3585
(919) 469-2080



20' 0 40'

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DATE:	REVISION:	JOB NO.:	058-001
		SHEET NO.:	SP1
		OF	x SHEETS



Lloyd Farm

Carrboro, North Carolina
AIS / CUP / Rezoning

Site Plan

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SITE DATA- LOT 9

LOT 9 - Residential
Use Classification: Multi-Family Townhomes - 1.320
Existing Zoning: R-10 & R-20
Proposed Zoning: R-10 & R-20
Lot Acreage: 4.67 AC / 203,455 SF
Building Height: 2 story
35' Height Max.
Parking: Garage - 30 spaces
Parking: Surface - 8 spaces
Parking: Bicycle - 23 spaces (15 sheltered)
Dwelling Units: 3 bedroom
Total Units: 15 DU
Residential Floor Area: 42,000± SF
Open Space: Lot 9 - 3.1 AC
(66% of lot area / privately owned)
Recreation Points: Required 177 pts, Proposed 180 pts
(Hiking Trail 1800 sf = 28 pts, Gazebo 225 sf = 73 pts
Play Equipment (Tot-Lot) 750 sf = 80 pts)

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 Open Space to meet 40% preservation requirement

Lloyd Farm - AIS / CUP / Rezoning

Carrboro, North Carolina

Site Plan

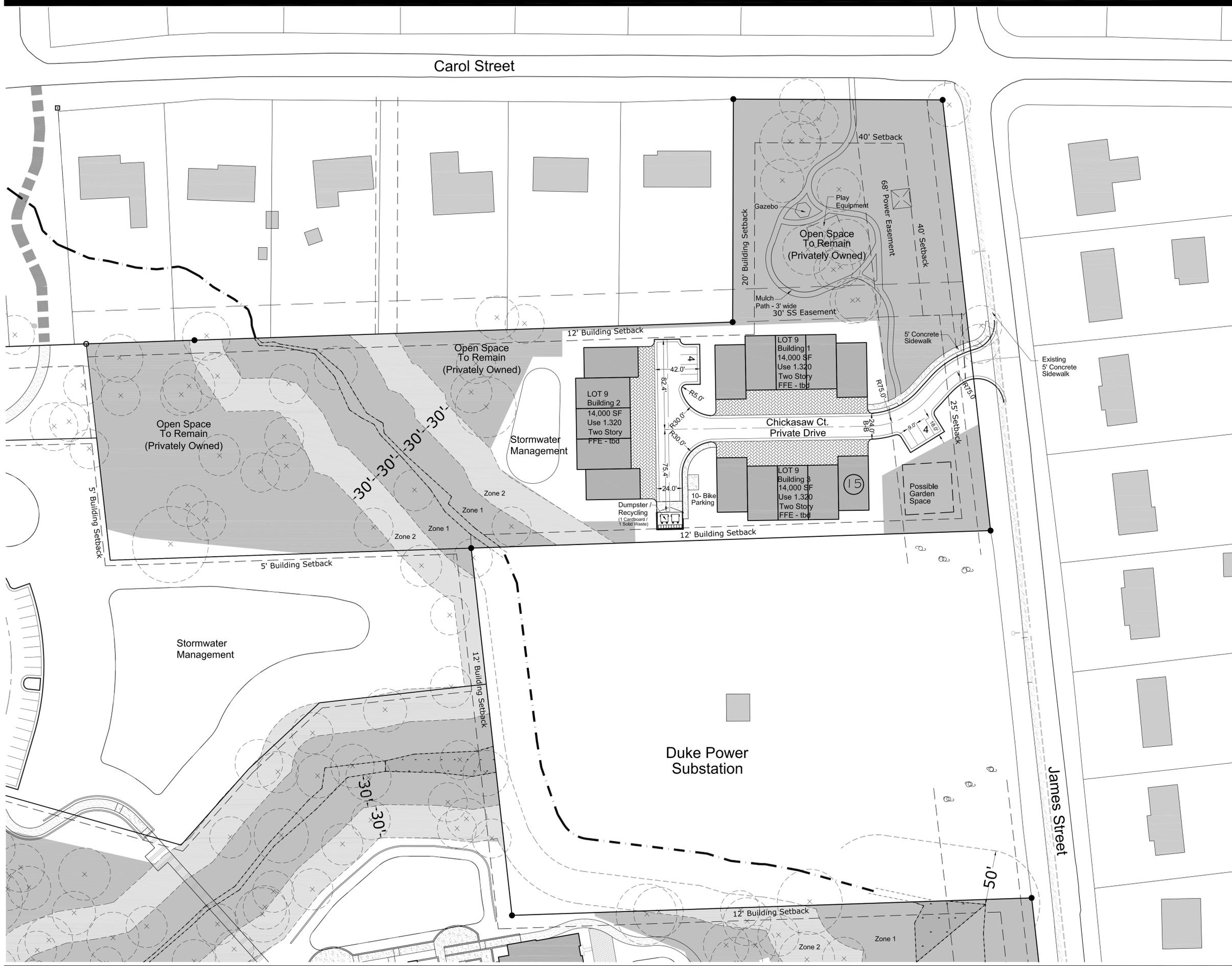


THE DESIGN RESPONSE
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Cary, NC 27519-3585
(919) 469-2080



20' 0 40'

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DATE:	REVISION:	JOB NO.:	058-001
		SHEET NO.:	SP2
		OF	x SHEETS



Lloyd Farm

Carrboro, North Carolina
AIS / CUP / Rezoning
Site Plan

SITE DATA

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- Because the uses shown for Lots 2-5 are speculative at this time and subject to change, facilities for solid waste and recycling will be shown on the final site plans for each of these parcels when the actual uses are determined.

 Open Space to meet 40% preservation requirement

Lloyd Farm - AIS / CUP / Rezoning
Carrboro, North Carolina

Site Plan



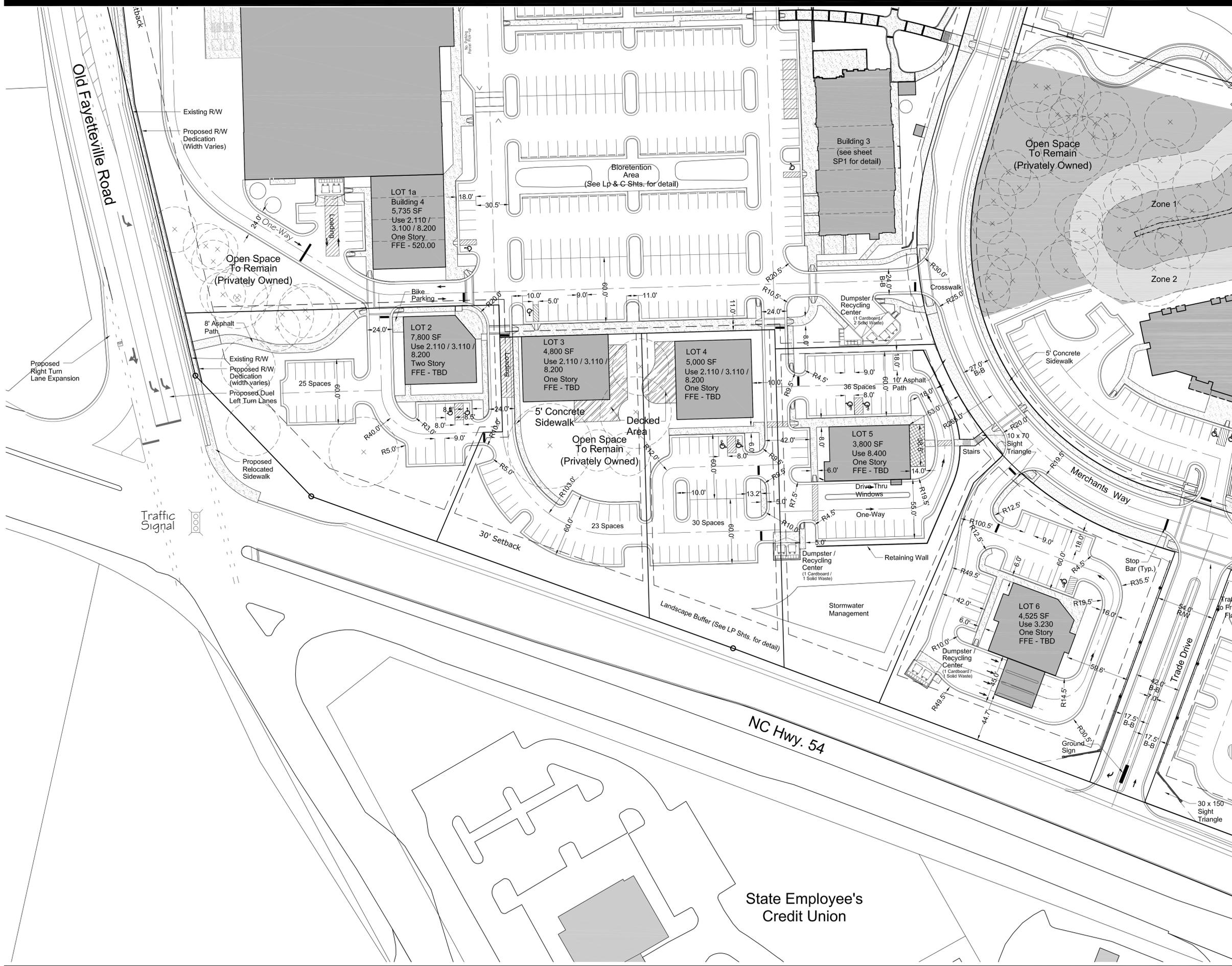
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State Employee's
Credit Union

Lloyd Farm
 Carrboro, North Carolina
 AIS / CUP / Rezoning

Site Plan

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Lloyd Farm - AIS / CUP / Rezoning
 Carrboro, North Carolina

Site Plan



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